



# LAND OFF BLUEBELL ROAD

## Bartram Mowers

### MASTERPLAN DOCUMENT

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October 2015

## CONTENTS

	Page
Executive Summary	4
1. Introduction	7
2. Site Appraisal	9
3. Planning Context	18
4. Technical Assessment	22
5. Landscape and Visual Impact Assessment	29
6. Design Principles	38
7. Consultation	40
8. The Masterplan	48
9. Masterplan Delivery Strategy	53
Appendix A: Bartram Mowers Masterplan Brief	56

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Date of Issue: 29-10-15  
Status: Final



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# EXECUTIVE SUMMARY

**EXECUTIVE SUMMARY**

- 1.1 This masterplan document has been prepared in order to set out design principles to support the development of land west of Bluebell Road known as site R42 in the Site Allocations and Site Specific Policies Local Plan. It has been produced in accordance with the Bartram Mowers Masterplan Brief that was agreed with the Council in May 2015 (see Appendix A).
- 1.2 The masterplan will provide a framework for developers to follow and assist the Local Planning Authority in the consideration and determination of planning applications on the allocation site.
- 1.3 The site consists of a 5.5 hectare area west of Bluebell Road which is allocated for housing for the over 55s including retirement housing. The first phase of this is proposed for Assisted Living and Retirement Living apartments by McCarthy & Stone. A mix of houses, apartments and bungalows is proposed for later phases, as well as possibly a care home.
- 1.4 Bartram Mowers' land ownership extends to 23 hectares between Bluebell Road and the River Yare. The masterplan covers both the above mentioned 5.5 hectare development site and the adjacent 17.5 hectares of land. This wider area of land will be left undeveloped and will allow additional public access as well as improve ecology and habitat.
- 1.5 Supporting the masterplan are a number of studies including the following:
- a full landscape and visual impact assessment;
  - topographical and levels surveys;
  - an ecological survey;
  - a tree survey for the development site;
  - a transport assessment.
  - a flood risk and drainage
  - a noise assessment
  - an archaeological assessment
- 1.6 The masterplan has taken account of these studies as well as input from Norwich City Council Officers. This document summarises the studies as well as consultation input.
- 1.7 Arising out of the baseline work is a series of design principles, framework plans and the masterplan. These provide guidance for the development of the site as well as improvements and safeguarding of the wider 17.5 ha site which is to remain undeveloped.
- 1.8 It is clear from the masterplanning exercise that the development site can sustain a greater amount of development than the 120 units suggested in the Local Plan. The baseline studies and illustrative material demonstrate that around 120 units can be provided on phase 1 alone, with a further 150 units achievable on later phase(s).
- 1.9 This level of development will provide a range of dwelling types suitable for over 55's and still allows for existing good quality trees to be retained, neighbour amenity to be protected and key views and landscape considerations to be safeguarded. On site open space can also be provided including a 'village green' as a focal point to the masterplan.
- 1.10 This document also sets out the delivery strategy for the site. This will include public consultation, phasing, open space management and legal agreements. Together with the illustrative masterplan, the document will offer a sensitive and considered approach to the development of site R42.
- 1.11 It also demonstrates how this site could make a valuable contribution towards meeting the need for over 55s housing in the area within a compact form and high quality landscaped setting.
- 1.12 The development will also secure a generous amount of public open space and provide access, amenity and ecology benefits. The overall result will be a distinctive place that is sensitively designed and relates well to local character. It will also provide a sustainable redevelopment of the site into a sympathetic and high quality housing development.



# Section I

# INTRODUCTION

## I. INTRODUCTION

### INTRODUCTION & BACKGROUND

- 1.1 This masterplan document has been prepared on behalf of McCarthy & Stone Retirement Living in relation to the development of land west of Bluebell Road, Bartram Mowers Limited, Norwich.
- 1.2 The site is allocated for development in the Site Allocations and Site Specific Policies Local Plan (the Site Allocations Plan), adopted in December 2014 under Policy R42.
- 1.3 Policy R42 requires proposals for the site to accord with a masterplan produced by the developer following a brief set by the Council, covering the development site and adjacent open space. A copy of the agreed Brief is provided in Appendix A. As the brief suggests, the completed master plan document will provide a framework for developers to follow and assist the Local Planning Authority in the consideration and determination of planning applications on the allocation site.
- 1.4 There are two areas of land under consideration. The first is a 5.5 hectare site west of Bluebell Road which is allocated for housing for the over 55s including retirement housing and may include assisted living and/or extra care housing. McCarthy & Stone are proposing assisted living and retirement living apartments as well as affordable housing on the southern part of this 5.5 ha site measuring 1.98 hectares (4.89 acres).
- 1.5 Bartram Mowers' land ownership however extends to 23 hectares between Bluebell Road and the River Yare. The second area of land to consider is the adjacent 17.5 hectares area of open land which will remain undeveloped. **Section 2** introduces the site and examines its general characteristics and context.
- 1.6 The adjacent 17.5 hectares of land is protected from development through its allocation as part of the Yare Valley Character Area and as open space in the Norwich Local Plan under policies DM6 and DM8. This area will provide both open space accessible to the public and improved habitats, parts of which will not be publicly accessible due to the sensitivity of the habitats. **Section 3** examines the above policies as well as the general planning policy context.

### THE OPPORTUNITY

- 1.7 This document illustrates and explains how part of the land

ownership could be master planned to create an attractive residential development which will help to contribute towards the city's housing needs, and retirement housing in particular.

- 1.8 The masterplan visualises how a development might look. It reviews how development will impact upon short and long distance views and the importance of the site within its landscape setting. It also suggests a form that is sensitive to the landscape whilst optimising the potential of the site.
- 1.9 The masterplan also illustrates and explains the proposed treatment of the wider site which is to remain undeveloped but will be enhanced to offer amenity and ecology benefits.

### MASTERPLAN PROCESS

- 1.10 The masterplan brief requires that the masterplan will be developed in three iterative stages – firstly Information gathering, secondly Masterplan production and thirdly a Delivery strategy.

#### Stage 1

- 1.11 As well as planning policy, the brief also suggests that information gathering also includes the following:
  - a full landscape assessment;
  - a visual impact assessment;
  - topographical and levels surveys;
  - an ecological survey;
  - a tree survey for the development site;
  - a transport assessment;
  - an archaeological assessment.

- 1.12 The brief requires that the assessments and surveys must be used to identify areas of high visibility and where there are important cross valley views which should be conserved as part of the landscape strategy for the site to ensure development has minimal landscape and visual impacts. As required by the brief, the landscape evidence was to be tested in more detail by the masterplanning exercise in relation to key views, connections and buffer zones. **Section 4** summarises the landscape and visual impact assessment that was carried out. **Section 5** discusses the range of complementary technical assessments that have also been undertaken.

- 1.13 Consultation has also informed the masterplan. **Section 6** details the consultation process including discussions with officers and members as well as public exhibitions.

- 1.14 The information gathering stage is also required to set out a series of design principles for the following:

- Movement framework
- Landscape, views, green space and ecology framework
- Drainage framework
- Sustainability strategy framework
- Place making framework

**Section 7** examines the opportunities and constraints and sets out the design principles/frameworks that are informed by the technical assessments and consultation inputs.

#### Stage 2

- 1.15 This document forms the focus of Stage 2 which explains the illustrative masterplan in the form of this detailed report. This report includes the required design guidance for developing the site. This document also shows how the masterplan principles will be realised as part of future planning applications including how the proposal will meet Local Plan requirements. **Section 8** explains the masterplan approach.

#### Stage 3

- 1.16 The third stage is the delivery strategy. This will include the following:
  - Strategy for public consultation during the preparation of future planning applications.
  - Phasing of development/infrastructure required to achieve the masterplan objectives and Local Plan requirements;
  - The Management Plan for the open space;
  - Legal agreements covering arrangements for the phased provision, future management and maintenance of the open space in perpetuity.
- 1.17 The Delivery Strategy is examined in **Section 9** which summarises the approach. The full management plan and legal agreements are published separately.

# Section 2

## SITE APPRAISAL

**LOCATION**

2.1 The site sits on land west of Bluebell Road around 4 kilometres to the south west of Norwich city centre (see figure 2). In terms of its local context, the site sits to the north-west of the main A11 road which divides the site from Eaton Village.

**OWNERSHIP AND USE**

2.2 The site is currently owned and occupied by Bartram Mowers, a garden machinery, sales and repair business. The site also includes a single storey building used on a temporary basis as a childrens day nursery as well as parking areas and hard standings for former greenhouses, since it was previously used for market gardening. The majority of the site is however undeveloped.

2.3 The redevelopment of the site will enable the current business to relocate into purpose built premises allowing the site to be developed for over 55s housing and open space.

**SITE CHARACTERISTICS**

2.4 Bartram Mowers ownership extends to 23 hectares between Bluebell Road and the River Yare. The extent of the land is illustrated in Figure 3, page 10. The land which should be considered for residential development is part of that total ownership. This developable part of the ownership measures around 5.43 Ha (2.81 Acres) and has a frontage onto Bluebell Road along the eastern edge. The southern edge adjoins the woodland screen to the A11, as well as adjoining Nos. 9 and 11 Bluebell Road. The western edge adjoins open grassland defined by a line of trees. The northern edge of the site is also defined by a line of trees adjacent to grassland. This northern part of the development site contains the existing business uses.

2.5 The wider land that is to remain undeveloped is made up of grassland, fens and woodland. The western edge of this wider area of land is defined by the River Yare. Alongside the river within a sizable portion of the site in the south west corner can be found an area of important habitat.

**SITE LOCATION**



Figure 2: Site Location, Scale- 1:15000 at A3, (OS Copyright)

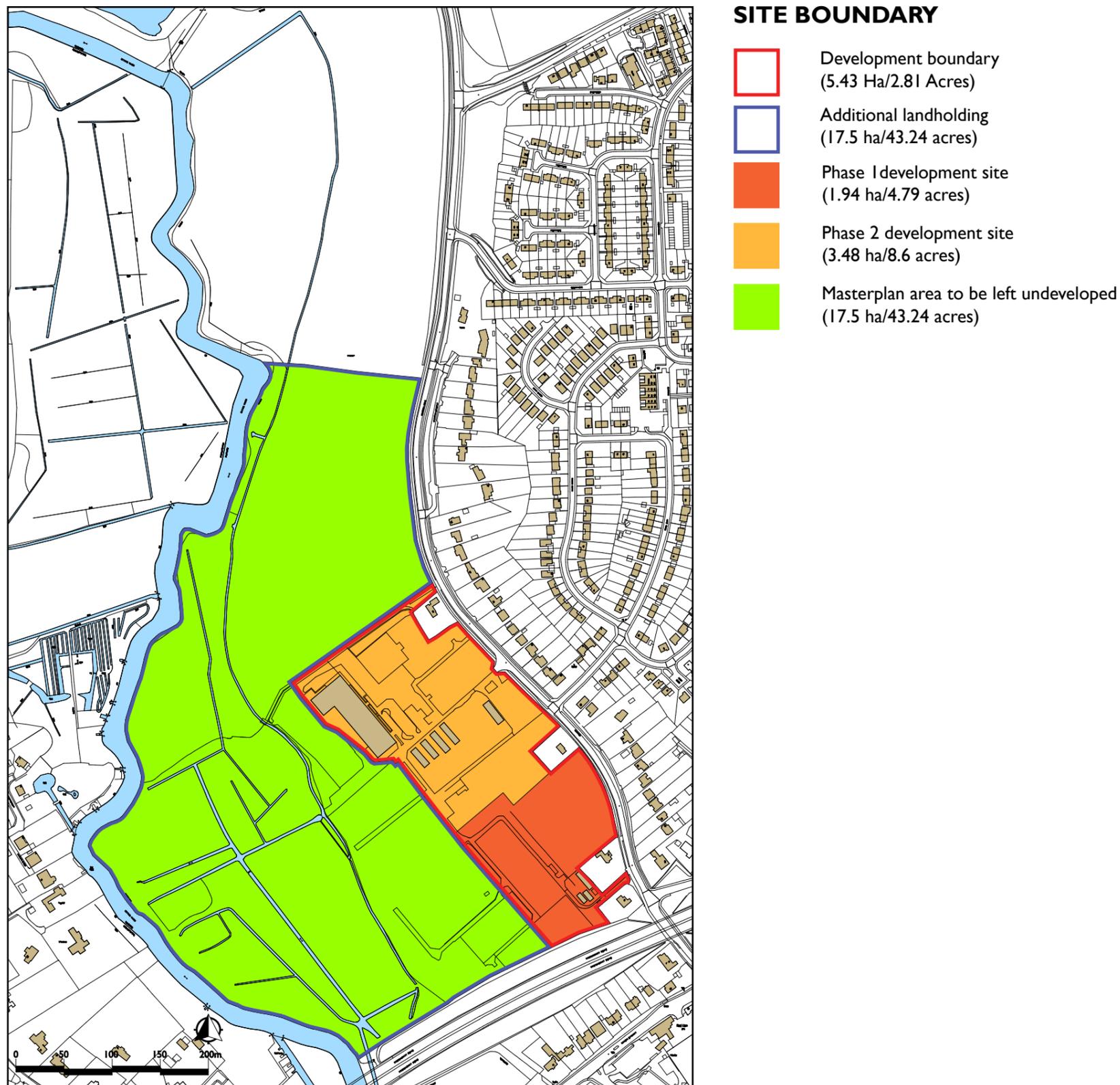


Figure 3: Site boundary, Scale-1:5000 at A3, (OS Copyright)

This consists of fen vegetation, grazing marshes, drainage dykes, alder and willow. As with the developable area, the southern part of the wider land adjoins the screen woodland to the A11. The northern edge adjoins grassland used for grazing livestock. The eastern edge north of the development site is defined by Bluebell Road. The birds eye view and photos illustrate various views of the site both internal, external and from the air.

- 2.6 The land varies in level and falls between around 7.5m to 12m from east to west to the fenland where it flattens out and is largely level to where it meets the river. The development area falls gently by around 12m from the south-east of the site to the north-west of the Development Area. It also falls from south to north by around 1m to 4m across the developable land and then rises back up to the north beyond.
- 2.7 There are a number of tree groups on the site. Most are located along the boundaries defining the edge. There are also groups and rows of trees within the land.
- 2.8 Figure 4 summarises some of the key characteristics of the land including trees and topography. Figure 7 shows a birds eye view of the site and photos 1-15 illustrate various ground level views.

#### HISTORY

- 2.9 Figures 5 & 6, contrast the historical evolution of the site and surroundings from 1889 to the present day. As the maps illustrate, the context of the land has changed significantly during from the late 19th century to the present. It has changed from one that is largely rural to one that is mainly urban. Development now surrounds the site on three sides. The site itself was developed as nurseries even back in 1889. This use continued until comparatively recently.
- 2.10 Developing the smaller area of land will continue the evolution of the area, with the site forming a natural consolidation of development alongside Bluebell Road. The larger area of land will remain undeveloped maintaining the historic fenland alongside the river as well as the open nature of the land north of the developable part for the long term.



**GENERAL SITE FEATURES**

-  Development boundary (5.43 Ha/2.81 Acres)
-  Additional landholding (17.5 ha/43.24 acres)
-  Phase 1 development site (1.94 ha/4.79 acres)
-  Phase 2 development site (3.48 ha/8.6 acres)
-  Masterplan area to be left undeveloped (17.5 ha/43.24 acres)
-  Existing access point
-  Pedestrian route
-  Existing watercourses
-  Existing trees
-  Slope (arrow pointing uphill)
-  Buildings of no merit

Figure 4: Site analysis , Scale- 1:3500 at A3, (OS Copyright)

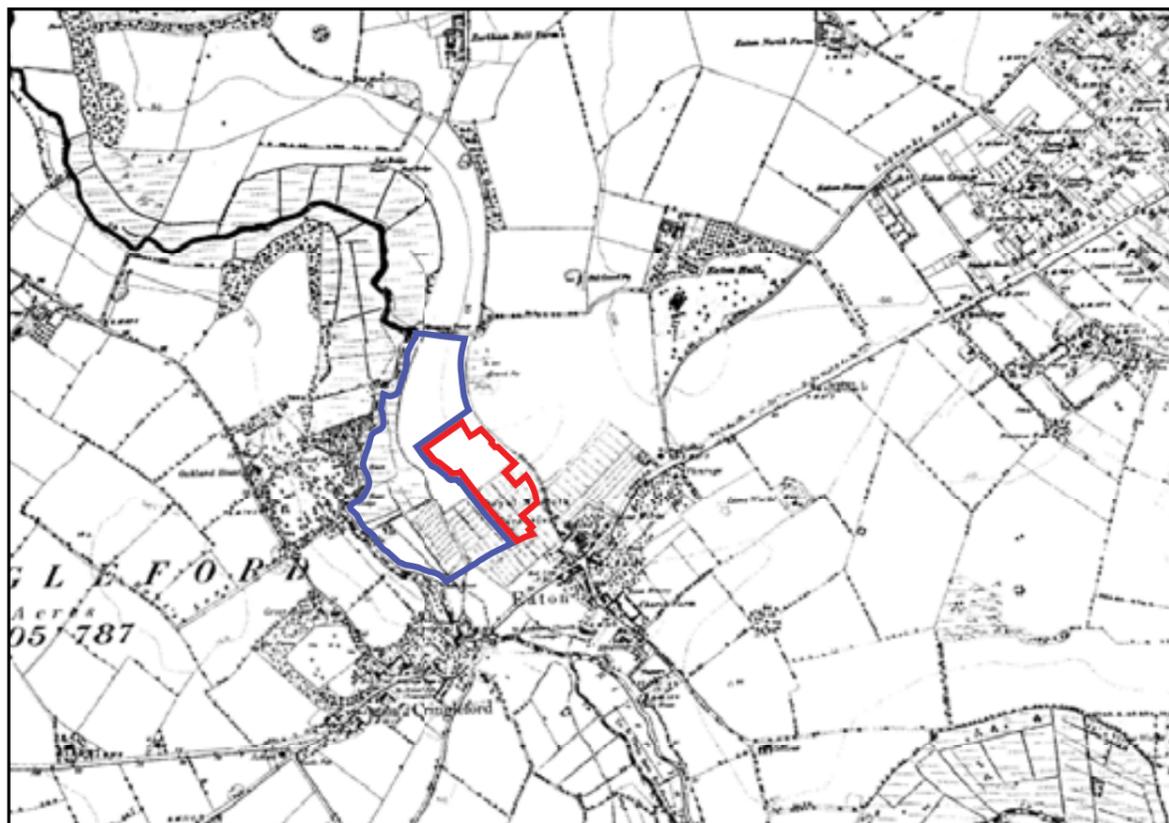
**1889 MAP**

Figure 5: 1889 Map showing the site and the wider context. Very little development is present close to the site at this time apart from the small villages of Eaton and Cringleford to the south. (OS Copyright, Scale- 1:20000 at A3)

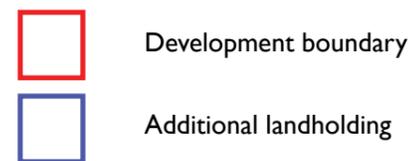
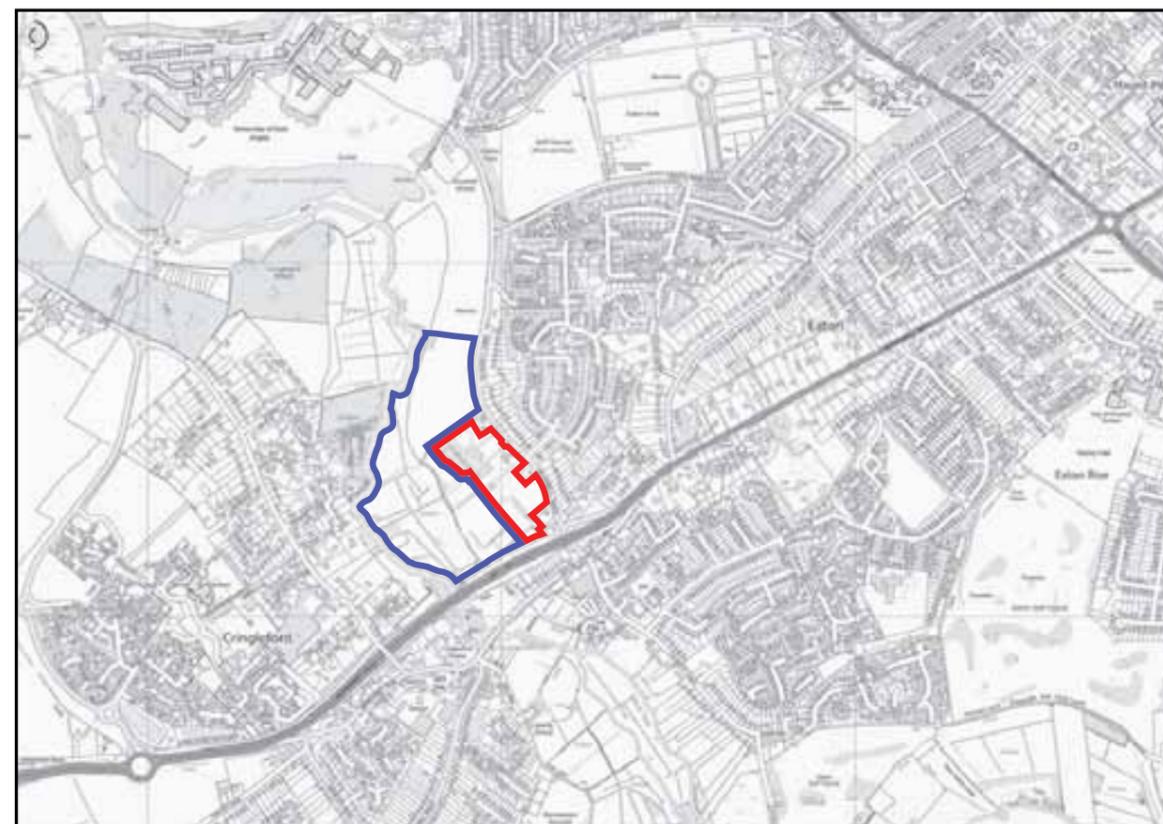
**2015 MAP**

Figure 6: Present day map showing the extent of development which now surrounds the site on three sides. (OS Copyright, Scale - 1:20000 at A3)

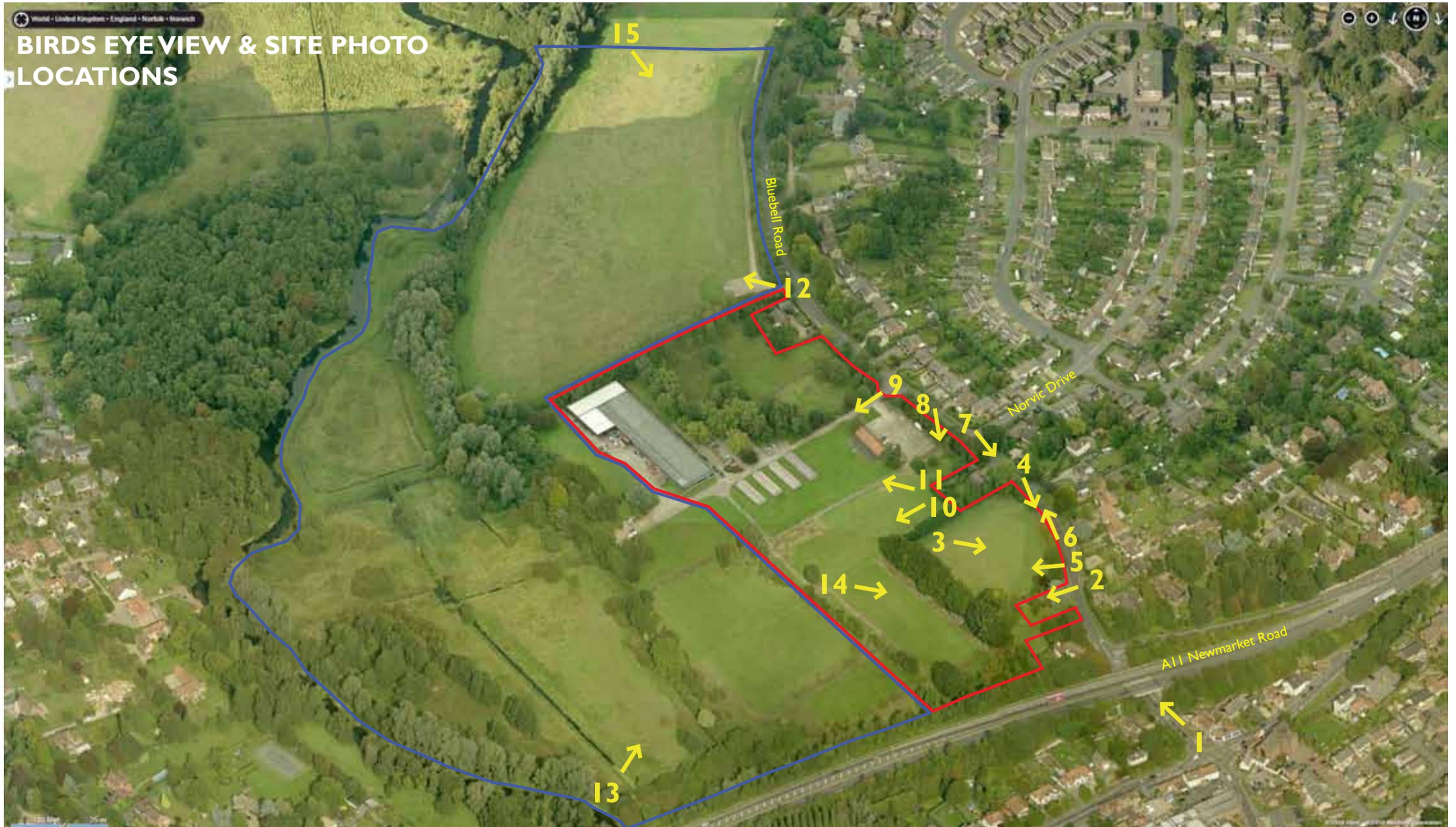


Figure 7: Birds eye photo with site and context photo locations identified (Source: Bing Maps)

## SITE PHOTOS



Photo 1:View north under the A11 to the site from Eaton Village



Photo 2:View west down the proposed access to the affordable housing



Photo 3: View south-east from the eastern edge of the line of beech trees to Bluebell Road and No.11 Bluebell Road



Photo 4:View south along Bluebell Road and the edge of Phase 1 land



Photo 5:View west from Bluebell Road across Phase 1 land



Photo 6:View north along the frontage of the first phase land and along Bluebell Road



Photo 7:View south along Bluebell Road to the north-east corner of Phase 1 land



Photo 8:View south-west from Bluebell Road to the eastern boundary of the Phase 2 land



Photo 9: View west from Bluebell Road down the existing access to Bartram Mowers premises



Photo 10:View west across the centre of the site



Photo 11:View north-west across the site to the existing buildings on Phase 2 land



Photo 12:View north-west across the land north of the development area known as Strawberry Fields



Photo 13: Long view north-east from the south west corner of the wider site from the River Yare across Bluebell Marshes



Photo 14: View east to the line of beech trees within phase 1



Photo 15: Long view south-east from the north-west corner of the wider site across Strawberry Fields

# Section 3

## PLANNING CONTEXT

## 3. PLANNING CONTEXT

### PLANNING BACKGROUND

- 3.1 The site is allocated for development in the Site Allocations and Site Specific Policies Local Plan (the Site Allocations Plan), adopted in December 2014. This section will examine the relevant national and local planning policies that influence the masterplan.
- 3.2 The Local Plan has been prepared in the light of the National Planning Policy Framework (NPPF) and must be taken into account in the preparation of local and neighbourhood plans.
- 3.3 At the heart of the NPPF is a presumption in favour of sustainable development. Site R42 offers a sustainable choice of site for new retirement housing as explained below.

### NATIONAL POLICY

- 3.4 Paragraph 50 of the NPPF identifies that local planning authorities should plan for a mix of housing based on current and future demographic and market trends and the needs of different groups in the community such as older people. In respect of affordable housing, it advises that where there is an identified need, local planning authorities should set policies for meeting this need which should be sufficiently flexible to take account of changing market conditions.
- 3.5 Paragraph 47 sets out the planning objective 'to boost significantly the supply of housing'. This is recognition of the level of need for new housing across the country against the recent dwindling trend of housing supply. Paragraph 47 also requires local planning authorities to identify a deliverable 5 year supply of housing sites against their housing requirements with an additional 5% buffer (or 20% where there has been persistent under-delivery)
- 3.6 The proposed development meets the housing objectives of the NPPF in the following ways:

- Contributes to the Local Planning Authority's 5 year supply of deliverable housing sites.
- Makes efficient and effective use of land as a finite resource.
- Provides a specialised form of housing that there is an identified critical national and local need for.
- Stimulates the housing market by recycling underused properties so they can better meet a community's housing needs.

3.7 In terms of national design guidance, a number of policies apply. This includes the NPPF (in particular Section 7, paragraphs 56 to 68), the National Planning Practice Guide on Design, as well as Manual for Streets.

3.8 NPPF Para 56 - advises that good design is a key aspect of sustainable development and should contribute positively to making places better for people.

3.9 NPPF Para 64 – advises that permission should be refused for development of poor design.

3.10 The NPPF (para 58) sets out a number of main aims to ensure that developments:

- *will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- *establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit;*
- *optimise the potential of the site to accommodate development, create and sustain an appropriate mix of uses (including incorporation of green and other public space as part of developments) and support local facilities and transport networks;*
- *respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation;*

- *create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion; and*
- *are visually attractive as a result of good architecture and appropriate landscaping.*

3.11 All of these aims have been taken into account by the proposals, which Section 8 will explain in more detail.

3.12 Overall the proposed development meets the three main aims of sustainable development:

- **Economic** - residents increase spend in local shops and services, long and short term employment. Creates jobs, at both construction and operational stages.
- **Social** - Provides a form of housing that meets current and future housing needs. Supports health, social and cultural well being.
- **Environmental** - makes effective and efficient use of a previously part developed site in a highly accessible location.

### LOCAL POLICY

3.13 With regard to local policy, a number of main policies should be considered and in particular the following:

- Joint Core Strategy for Broadland, Norwich and South Norfolk (the JCS)
- Norwich site allocations and site specific policies local plan
- Norwich development management policies local plan

### Joint Core Strategy

- 3.14 The strategy for regeneration and growth in the greater Norwich area up to 2026 is set out in the Joint Core Strategy (JCS) for Broadland, Norwich and South Norfolk (adopted March 2011, amendments adopted January 2014).
- 3.15 The Joint Core Strategy (JCS) has been prepared by the three councils of Broadland, Norwich and South Norfolk, working together with Norfolk County Council as the Greater Norwich Development Partnership (GNDP). The JCS sets out the long-term vision and objectives for the area, including strategic policies for steering and shaping development.
- 3.16 The JCS contains 12 spatial planning objectives in relation to a number of key issues including housing, economy, regeneration and transport. In terms of the masterplanning exercise the most relevant is Objective 9:
- Objective 9: To protect, manage and enhance the natural, built and historic environment, including key landscapes, natural resources and areas of natural habitat or nature conservation value.
- 3.17 The JCS also contains a number of key policies. The most relevant are as follows:
- Policy 1: Addressing climate change and protecting environmental assets
  - Policy 2: Promoting good design
  - Policy 3: Energy and water
  - Policy 4: Housing delivery
- 3.18 **Policy 1** involves meeting policy requirements on energy and water efficiency and incorporating sustainable drainage. As well as ecologically sensitive development the development of the site should also be sensitive to habitat, biodiversity, wildlife and green infrastructure.
- 3.19 **Policy 2** concerns good design and layout, scale and density of development which should reflect the characteristics of the area.

3.20 All development will be designed to the highest possible standards, creating a strong sense of place. In particular development proposals will respect local distinctiveness as well as the following relevant issues;

- the landscape setting of settlements including the urban/rural transition and the treatment of 'gateways'
- townscape, including the city and the varied character of our market towns and villages
- provision of landscaping and public art
- the need to ensure cycling and walking friendly neighbourhoods by applying highway design principles that do not prioritise the movement function of streets at the expense of quality of place
- designing out crime
- the use of sustainable and traditional materials
- the need to design development to avoid harmful impacts on key environmental assets

3.21 **Policy 3** aims to minimise reliance on non-renewable high-carbon energy sources and maximise the use of decentralised and renewable or low-carbon energy sources and sustainable construction technologies.

3.22 For developments over 10 dwellings (i.e. the site) there is a requirement to include sources of 'decentralised and renewable or low-carbon energy' providing at least 10% of the scheme's expected energy requirements. In addition the Design and Access Statement should demonstrate that all viable and practicable steps have been taken to maximise opportunities for sustainable construction. A range of measures will therefore be the agreed at the detailed planning application stage.

3.23 **Policy 4** suggests that on sites for 16 dwellings or more 33% of dwellings will be affordable housing, approximately 85% social rented and 15% intermediate tenures will be required. Mixed tenure housing with care will also be required as part of overall provision in highly accessible locations.

### Norwich site allocations and site specific policies local plan

3.24 The Norwich Local Plan is composed of site specific policies and general policies. The site is allocated for over 55s housing including assisted living and/or extra care housing under Policy R42. Figure 8 illustrates the map extract from the Local Plan.

3.25 The site specific policy reads as follows:

*The development will be designed to:*

- minimise impact on the landscape of the Yare Valley and important views;*
- improve the strategic Yare Valley green infrastructure corridor, providing 17.5 hectares of public open space on land adjoining the site shown on the site plan below with a red dotted line. The public open space will provide improved pedestrian/cycle access to and within the valley, including improvements to the Yare Valley Walk. A Management Plan will be produced for the open space by the developer. A legal agreement will cover arrangements for the future management and maintenance of the open space in perpetuity;*
- protect and enhance environmental assets within and adjacent to the site, including retaining tree belts.*

*In order to ensure that the setting and character of the site are respected and to minimise impact on the landscape and important views, proposals will accord with an agreed Masterplan produced by the developer following a brief set by the Council, covering the development site and adjacent open space. The Masterplan will identify the precise areas within which development will be located, maximum building heights, the number and type of dwellings and the layout of the open space.*

*The Masterplan and the Management Plan for the open space will be informed by:*

- a full landscape assessment;*
- a visual impact assessment;*
- topographical and levels surveys;*
- an ecological survey.*

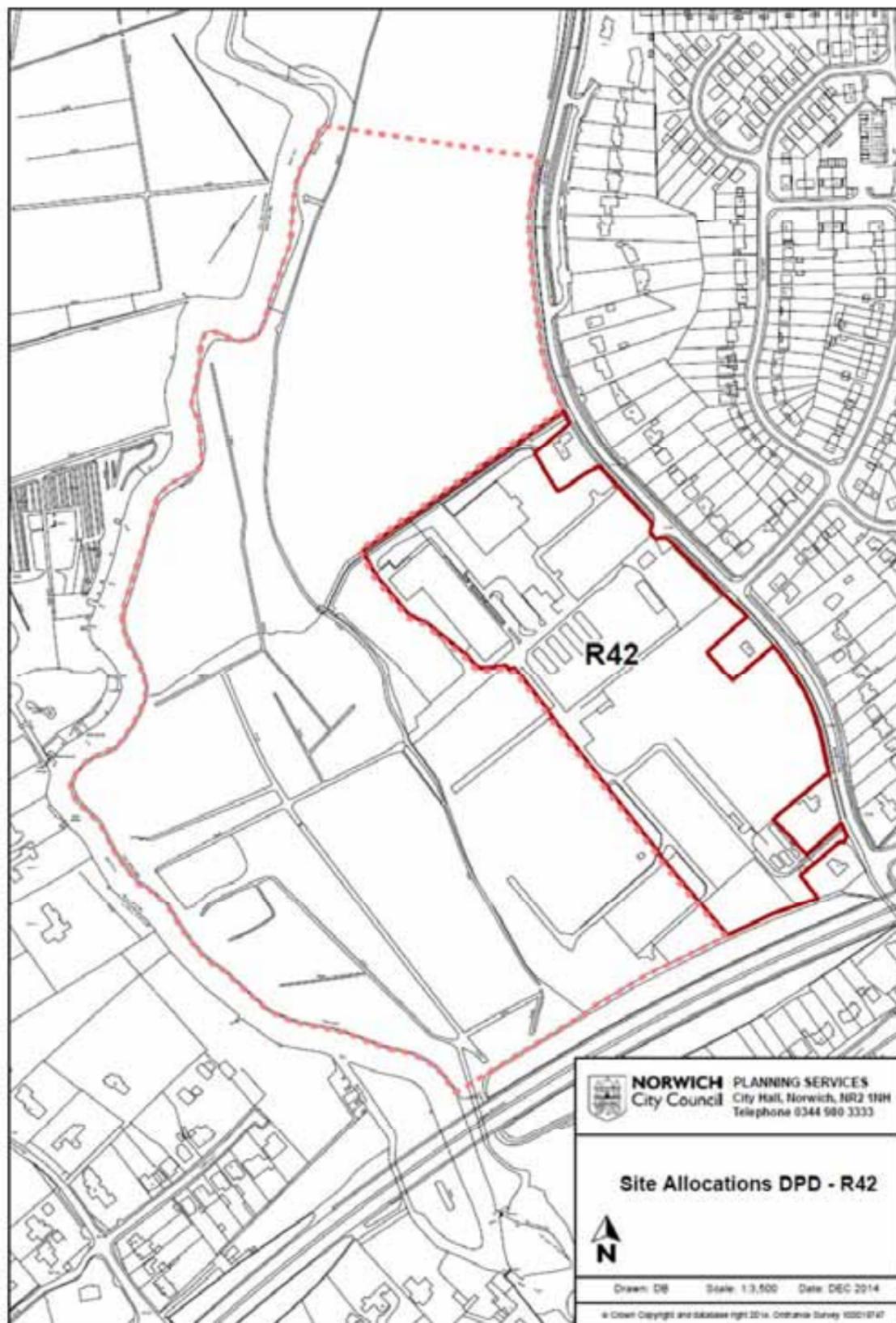


Figure 8: Map extract from the Norwich site allocations and site specific policies local plan  
Not to Scale, (OS Copyright)

3.26 The masterplan is supported by the above named assessments and surveys. Section 8 also details the proposals for the Yare Valley and public open space. The Masterplan in Section 8 also identifies the areas of development, building heights, indicative number and type of dwellings and the layout of the open space.

#### **Norwich development management policies local plan**

3.27 The Norwich development management policies local plan sets out the general local plan policies. Of most relevance are the following:

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM4 Providing for renewable and low carbon energy
- DM5 Planning effectively for flood resilience
- DM6 Protecting and enhancing the natural environment
- DM7 Trees and development
- DM8 Planning effectively for open space and recreation
- DM12 Ensuring well-planned housing development
- DM30 Access and highway safety
- DM31 Car parking and servicing
- DM33 Planning obligations and development viability

3.28 The Masterplan has taken on board all of the issues set out in the above policies as explained in Section 8.

#### **THE OPPORTUNITY**

3.29 The land at Bluebell Road (R42) will make a significant contribution towards meeting the needs for over 55s housing in a sustainable location.

3.30 Public access to the land is currently restricted since it is in private ownership. A sensitive and limited area of development will deliver not only much needed housing but also new public open space. Development would be confined to those areas with the least potential impact as well as acknowledged potential to accommodate new housing that is entirely appropriate in character terms given that the site is easily accessible and adjacent to existing housing and facilities.

3.31 On this basis the opportunity exists to achieve a sensitive development for housing and open space on land that is already identified in the local plan as being suitable for housing development (see Figure 8 adjacent).

Section 4  
LANDSCAPE & VISUAL  
IMPACT ASSESSMENT

**INTRODUCTION**

- 4.1 This section summarises landscape and visual matters that are explained in full within the Landscape & Visual Impact Assessment. Details within this section provide supporting and background information to inform overall design strategies in relation to the proposed development.
- 4.2 The main aims of the Landscape and Visual Appraisal are to:
- Establish a clear understanding of the site and its setting in respect of landscape character and visual amenity;
  - Establish an understanding of the proposed development in terms of its relation to landscape character and visual amenity;
  - Identify potential direct and indirect effects of the proposed development upon the landscape;
  - Identify potential effects on visual receptors;
  - Determine mitigation measures necessary to reduce/eliminate any potential adverse effect on the landscape or visual amenity arising as a result of the proposed development;
  - Identify opportunities for enhancement measures;
  - Establish the likely residual effects of the proposed development.

**LANDSCAPE METHODOLOGY**

- 4.3 In terms of methodology the following process was followed:
- The baseline conditions, i.e. the character, quality, value and relative sensitivity of the landscape;
  - The type and relative sensitivity of visual receptors;
  - The sensitivity to change of the landscape in relation to the proposed development;
  - The predicted magnitude of impact that the proposed development would bring, allowing for mitigation measures, upon the landscape and upon visual receptors;

- Assessing the significance of effect that would occur, by aggregating the predicted magnitude of change with the sensitivity

**LANDSCAPE CHARACTER**

- 4.4 The site does not fall within any statutory or nationally defined landscape designations in terms of protection although Bluebell Marsh is identified as a County Wildlife Site (CWS). The site has also been defined in terms of its landscape character.
- 4.5 Within England landscape character is defined at both a national and local scale. These definitions can be used and interpreted to understand specific issues relating to the overall landscape typology. At a national level, The English landscape is divided in National Character Areas, which are defined by Natural England. The site and study area fall within National Character Area (NCA) 84 Mid Norfolk published in 2014.
- 4.6 Key characteristics pertinent to the site context are defined as:
- Broadly flat landscape dissected by river valleys.
  - Tranquil agricultural landscape with extensive areas of arable land, dominated by cereals with break-cropping of sugar beet and oilseed rape, and some pastures along valley floors.
  - Patchwork field system, sinuous lanes and mixed hedges with hedgerow oaks.
  - Largely fragmented, isolated mixed deciduous and pasture woodlands.
  - Important alkaline valley fen communities and areas of remnant heathland.
  - Large number of 18th-century estates with their associated parkland.
  - Coherent vernacular architecture – marked by distinctive red brick and flint buildings with pantiled roofs, much dating from the 17th and 18th centuries, with some earlier timber frame – is an inherent component of the area's character.

- A mix of villages and many isolated farmsteads within a complex minor road network.
  - Dense network of public rights of way.
- 4.7 In terms of local landscape South Norfolk District Council has undertaken a Landscape Character Assessment in 2001. Whilst the site only lies adjacent to South Norfolk, this assessment provides a useful broad appraisal of the overall landscape characteristics.
- 4.8 The assessment demonstrates that the land to the south of the river (and, presumably, some of the land to the north of the river not included in the study) lies within the area noted as the 'Yare Valley Urban Fringe'.
- 4.9 Key characteristics of this character area include:
- Distinctive broad meandering valley form with broad flat flood plain and enclosing valley sides opening up where joined by tributary valleys;
  - Large river flanked by characteristic wetland vegetation often with well-wooded valley sides;
  - Presence of gravel workings and remnant flooded gravel workings on the valley floor;
  - Visibility of Norwich urban fringe along parts of the upper valley sides;
  - Visibility of large institutional buildings within or adjacent to valley, such as the University of East Anglia.
- 4.10 The site has also been subject to a landscape study in the document 'Strategic landscape & visual appraisal of potential development sites within the Yare Valley, Norwich' prepared by Sheils Flynn.
- 4.11 The landscape character of the site itself accords with the local landscape character assessment carried out by Shiels Flynn.
- 4.12 The site displays the following key characteristics:
- The site has a flat valley floor and gently sloping meadows to the east;
  - There are mature tree and hedgerow boundaries, as well as tree belts and groups interspersed across the site;

- The A11 is not visible from the site, though traffic noise is apparent;
- There are areas of woodland to the west and north-west of the site;
- Views are limited by the layered tree belts, scrub and hedgerows creating an enclosed, intimate character.
- Glimpsed views are possible to Bluebell Road in the north of the site, whilst the southern section of the site boundary with Bluebell Road is more open.

4.13 The site comprises three main areas:

1. The predominantly brownfield area occupied by Bartram Mowers and the Nursery School, as well as adjacent land, which together will make up the development area;
2. Strawberry Fields; and
3. Bluebell Marshes.

4.14 The predominantly brownfield area comprises sheds and buildings of variable condition, areas of hard standing, some representing the bases of previous sheds/ glasshouses, numerous trees and hedgerows of variable quality, and large areas of maintained grass. The main site entrance to the Development Area is characterised by a clutter of signage.

4.15 There is a Tree Preservation Order protecting part of the Development Area. This TPO 210 is both an Area TPO applying to the south-eastern part of the Development Area and Nos 9-11 Bluebell Road, and a Group TPO applying to the long linear group of beech trees within this part of the Development Area.

4.16 The Strawberry Fields area of the site comprises a pasture field with vegetated boundaries comprising trees, hedgerow and encroaching scrub.

4.17 The Bluebell Marshes area of the site represents an area of unmanaged remnant fenland with encroaching scrub and woodland.

## VISUAL RECEPTORS AND VIEWPOINTS

4.18 As part of the appraisal of landscape issues, a number of key view points from publicly access areas were considered. This included Public Rights of Way, footpaths, roads and potential views from residential housing.

4.19 In the light of the desktop study a series of representative viewpoints (VP's) were chosen to provide coverage of potential views of the proposed development from a range of directions. These are as follows:

- Receptor 1: Bluebell Road
- Receptor 2: Yare Valley Walk
- Receptor 3 - Footpath on the northern boundary of the Development Area
- Receptor 4: Private dwellings on the eastern side of Bluebell Road.
- Receptors 5 - No. 11 Bluebell Road adjoining the Development Area
- Receptor 6 - Roads and dwellings at around 25m AOD and above to the west of the Development Area e.g. at Cringleford Chase

4.20 A comprehensive series of viewpoints are included in the LVIA that take in these receptors. The visual impact assesses the change in visual amenity undergone by these specific receptors that would arise from any change in the nature of views experienced.

4.21 The relative sensitivity of each visual receptor is determined by the combination of the susceptibility of the receptor to change and the value or nature of the view experienced from that receptor. Visual impacts may be adverse (negative), beneficial (positive), or neutral (of no material effect).

## LANDSCAPE SENSITIVITY

4.22 The character and individual elements of a particular landscape can be sensitive to any change. In relation to the development proposals and the prevailing character, the landscape could potentially be sensitive to change in relation to the following issues:

- Inappropriate scale/massing of development which are prominent in the landscape and detract from the settlement character;
- Loss of hedgerows or field boundaries and traditional enclosure patterns;
- Increases in tree cover through mass planting proposals;
- Reduction in tree/vegetation cover through tree/hedgerow removal.
- Loss or obstruction of views.

## IMPACT ASSESSMENTS

4.23 Two forms of impact assessments were carried out; visual impact assessment and landscape effects assessment.

### Visual Impact Assessment

4.24 A series of visual impact assessments were carried out in relation to the visual receptors. The following provide a general narrative of selected views to the proposed site from locations with where full or partial views may be seen.

#### *Receptor 1: Bluebell Road*

4.25 The development proposals will create new building frontages along Bluebell Road, set back to allow for the retention of existing trees and hedgerows, and provision of further new planting.

4.26 Mitigatory planting in the form of reinforcement native tree and hedgerow planting will be carried out along the eastern boundary of the Development Area with Bluebell Road as part of the development proposals. Future growth of this planting will provide increased mitigation over time.

4.27 Overall, the development proposals will replace the existing unattractive sheds, hardstanding, signage clutter and small field, with residential development which respects the site context and responds to the existing adjoining residential character, including the large setback from Bluebell Road, and two storey, broken frontage facing Bluebell Road, all combined with retained and new planting. The resulting residual impact will be insignificant following future vegetation growth.

*Receptor 2: Yare Valley Walk*

- 4.28 This Walk, although non PRow, appears to have regular local use and provides access to the Yare Valley which is protected through local policy.
- 4.29 Views from the Walk are limited with only glimpsed views possible.
- 4.30 Mitigatory planting to the eastern boundary of the Bluebell Marshes CWS will be implemented as part of the development proposals. Mitigatory planting will also be carried out to the northern boundary of the Development Area. Materials in muted tones (e.g. brick) are proposed for the elevations facing towards the western and northern boundaries of the Development Area, and avoidance of conspicuous colours such as pale render, in order that any glimpses recede into the vegetation and are barely noticeable.
- 4.31 Following implementation of mitigatory planting and future vegetation growth, there will be negligible change to the existing glimpses of built structures on the Development Area, therefore the resulting residual impact is considered to be neutral.

*Receptor 3 - Footpath on the northern boundary of the Development Area*

- 4.32 This non PRow footpath connects Bluebell Road to the Yare Valley Walk, and appears to have regular local use. Along most of this footpath potential views into the Development Area are completely screened by the dense hedgerow vegetation along the northern Development Area boundary.
- 4.33 Mitigatory planting and muted materials will result in a slight improvement to the existing glimpses of sheds on the Development Area, therefore the resulting residual impact is considered to be negligible beneficial.

*Receptor 4 - Private dwellings on the eastern side of Bluebell Road*

- 4.34 Views into the site from Nos. 24 - 8b Bluebell Road are predominantly from upper storey windows (non principal rooms) and will be partial summer and winter views. Dwellings to the north of No. 24 Bluebell Road are situated to the east of the part of the Development Area occupied by the existing Bartram Mowers buildings. Again there is strong tree and hedgerow vegetation to filter views.
- 4.35 With further mitigatory planting the resulting residual impact is considered to be insignificant to these very low sensitivity receptors.

*Receptor 5 - No. 11 Bluebell Road adjoining Development Area*

- 4.36 This dwelling has a garden boundary adjoining the Development Area. This dwelling has views from primarily upper storey, non principal room windows, and one ground floor window, over the boundary vegetation into the Development Area. This is a relatively rural view of the existing small managed field.
- 4.37 Mitigatory planting in the form of tree, hedgerow and shrub planting will provide increased mitigation over time and will result in an insignificant residual impact to this very low sensitivity receptor.

*Receptor 6 - Roads and dwellings at around 25m AOD and above to the west of the Development Area e.g. at Cringleford Chase*

- 4.38 There is only a distant glimpse of an existing roof within the Development Area from Cringleford Chase (Viewpoint 08), seen through a gap in the mature trees clothing the valley slope of Cringleford.
- 4.39 Boundary and structure planting to the development, using large native tree species, will provide increased mitigation over time, breaking up and softening the potential glimpses of roofs. The built form will avoid continuous horizontal rooflines, utilising broken and varied rooflines wherever possible. This will result in a neutral residual impact to these low sensitivity receptors.

**Visual impact - local policy**

- 4.40 In terms of Policy R42 the following points should be made:
- The development will be designed to minimise impact on the landscape of the Yare Valley and important views.
  - There will be minimal visual impact on the landscape of the Yare Valley.
  - In relation to public views from the Yare Valley, there will be a neutral residual impact on the Yare Valley Walk and a negligible beneficial residual impact on the non PRow footpath crossing the site to the north of the Development Area.

**Landscape Effects Assessment**

- 4.41 Bluebell Marshes CWS lies partially within the application site to the west of the Development Area. As part of the development, it is proposed to improve and enhance the area of the CWS within the site through a Management Plan developed in collaboration with the Wildlife Trust. Management of the area would enable:
- Restoration and enhancement of the fenland habitat and reduction of encroaching thicket as necessary;
  - Fenced boundaries to be provided to restrict access;
  - Restricted access to be created to provide limited boardwalk routes through the CWS, allowing increased public enjoyment of the wildlife area without affecting the ecology of the CWS (dogs prohibited).
- 4.42 Overall, this will result in a moderate beneficial residual impact to Bluebell Marshes CWS following implementation of the Management Plan.
- 4.43 The landscape features within the Development Area principally consist of tree belts, some hedgerows and improved grassland. There are both native and non native tree and hedge species, and the trees and hedgerows are of variable quality. It is proposed to remove some trees and tree groups within the Development Area in order to facilitate the redevelopment of the Development Area.

4.44 A linear group of ubiquitous, non native, Leyland cypress of low quality (category C1), are proposed to be removed as part of the development proposals.

4.45 The redevelopment of the Development Area will retain the existing boundary vegetation and introduce new planting including trees, hedges, thicket and shrubs forming a strong landscape framework to the Development Area. The high quality development set within a landscape framework will improve the character and appearance of this part of the site. Overall, the loss of some poorer quality tree features and the improved grassland will be more than offset by their replacement with the strong landscape framework, including native species to the boundaries. This will result in a minor beneficial residual impact following future growth of the planting.

#### Landscape Effects - local policy

4.46 In terms of Policy R42 the development will be designed to improve the strategic Yare Valley green infrastructure corridor with the following landscape benefits:

- Improved pedestrian/ cycle access to and within the valley.
- Improved pedestrian access through improvements to existing non PRow footpaths and introduction of new footpaths such as an east -west link across the south of the site between Bluebell Road and Yare Valley Walk, and restricted boardwalk routes through Bluebell Marshes CWS.
- Improved cycle access through the roads within the proposed development.
- Restoration and enhancement of Bluebell Marshes CWS
- Provision of open space within the development and provision of a strong landscape framework to the development.
- Protection/enhancement of environmental assets within and adjacent to the site, including retaining tree belts.

- The Bluebell Marshes CWS within the site will be restored and enhanced as part of the development proposals, resulting in a moderate beneficial residual impact to Bluebell Marshes CWS.
- Removed trees will be replaced by appropriate native tree species of high quality that will form a strong landscape framework to the Development Area.

#### LANDSCAPE RECOMMENDATIONS

4.47 Having considered the potential impact of development and potential for mitigation, it is recommended that as part of the design process the following aspects are considered:

- New native tree and hedgerow planting on the northern and eastern boundaries of the Development Area to reinforce existing trees and hedgerows.
- New native tree and thicket planting on the western boundary of the Development Area to reinforce existing trees to the south and create a new layer of planting to the north.
- New reinforcement native tree (large species) and thicket planting to eastern boundary of Bluebell Marshes CWS.
- Residential development - a mosaic of private garden spaces and public open space with associated varied shrub and tree planting will provide enhanced landscape interest and biodiversity potential.
- Inappropriate non-native or intrusive species will be removed if found.
- Species choice of structure planting will be tailored to reflect those found in the local area and to enhance potential biodiversity value.
- Bluebell Marshes CWS within the application site will be managed to improve the fenland habitat and reduce encroaching thicket.

- Consider opening up short sections of the boundary hedging between Bluebell Road and Strawberry Fields to open up views into the valley, if this can be achieved without creating new views of dwellings on Bluebell Road from Strawberry Fields, in order to not damage the character of the Yare Valley Character Area (considering both summer and winter views).
- Create new building frontages along Bluebell Road, set back to allow for the retention of existing trees and hedgerows, and provision of further new planting. This frontage is proposed to be two storey, broken frontage to provide gaps between buildings, allowing for vegetation to be incorporated between the buildings, whilst reflecting the existing residential character.
- Materials in muted tones (e.g. brick) are proposed for the elevations facing towards the western boundary of the Development Area, and avoidance of conspicuous colours such as pale render, in order that any glimpses recede into the vegetation.
- The built form will avoid continuous horizontal rooflines, utilising broken and varied rooflines wherever possible.

4.48 Figures 9 and 10 are taken from the LVIA and illustrate landscape mitigation measures and site planning principles in relation to landscape.

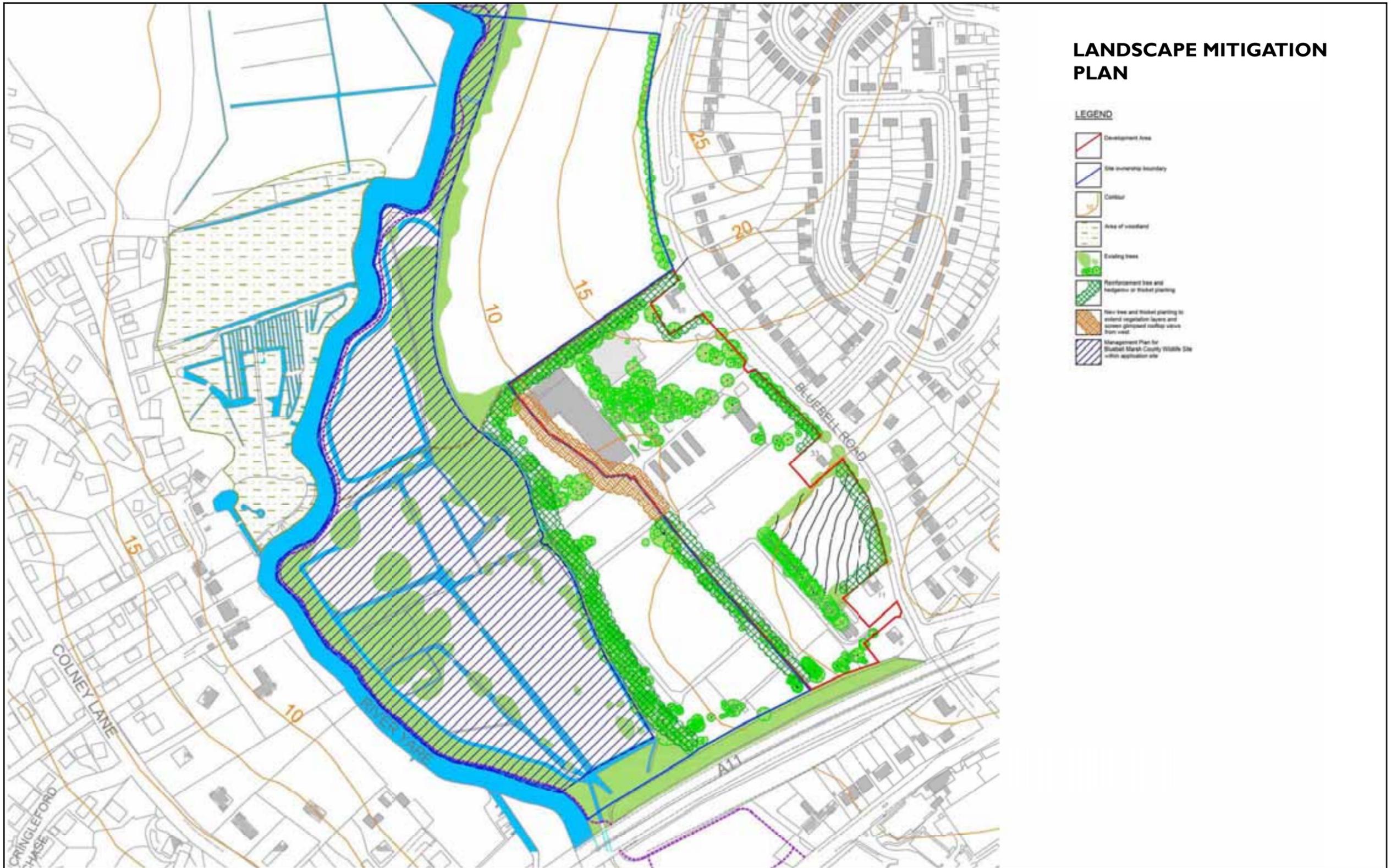


Figure 9: Landscape Mitigation Plan (UBU Design, OS Copyright, Scale - 1:3500 at A3)

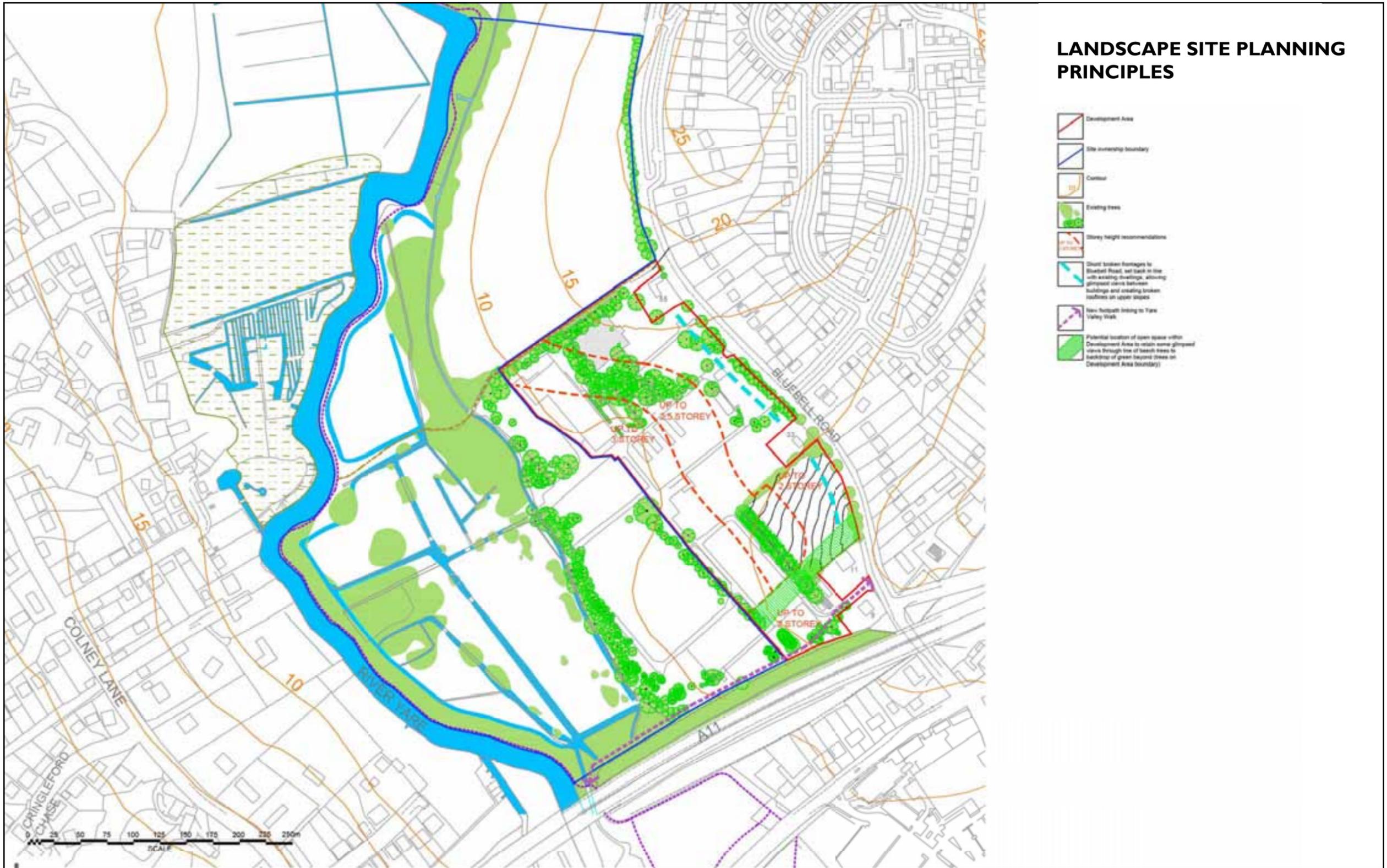


Figure 10: Landscape Site Planning Principles (UBU Design, OS Copyright, Scale - 1:3500 at A3)

# Section 5

# TECHNICAL ASSESSMENT

## 5. TECHNICAL ASSESSMENT

### INTRODUCTION

5.1 So far general site features, planning and landscape issues have been examined. The planning and landscape analysis did not unearth any major constraints. This section examines a number of additional technical considerations, which include:

- Scale of housing;
- Mix of housing
- Local services;
- Utility services;
- Access and connectivity
- Landscape and open space;
- Ecology;
- Flood Risk;
- Noise;
- Heritage and archaeology
- Built form and character

5.2 The above issues will be considered in turn below.

### SCALE OF HOUSING

5.3 Policy R42 suggests that whilst the scale of development on the site will be determined by the masterplan, for the purposes of calculating the Site Allocations Plan's contribution to the Joint Core Strategy housing requirement, an assumption has been made that the site will deliver in the region of 120 dwellings.

5.4 The site can however accommodate more housing without any significant negative impacts. In order to optimise the use of the site in line with the NPPF, the masterplan illustrates a scheme in the region of 270 units in total. This is significantly more than 120 dwellings. The resultant density is around 50 dwellings per hectare (dpha) overall which ensures the minimum 40 dwellings per hectare required by Policy DM12 is achieved. Given the generous spaces that still result, notwithstanding the 17.5 ha outside

the developable area which is to remain undeveloped, this is not excessive and can be sensitively integrated into the landscape. The use of apartments on the first phase is very space efficient and allows for a feeling of spaciousness at this density. Up to 122 dwellings will be provided on the first phase. Subsequent phase(s) are expected to be lower in density at just over 40 dpha providing up to 150 dwellings.

### MIX OF HOUSING

5.5 The site is allocated for over 55s housing. The first phase on the southern area of land is proposed for 122 units made up of 60 assisted living apartments, 42 retirement living apartments and 20 affordable housing units.

5.6 On the northern area of the site the wider masterplan suggests a mix of house types including apartments, houses, bungalows and potentially a care home. Overall there will be a varied mix of over 55s housing catering for a range of needs.

### LOCAL SERVICES

5.7 With regard to demands on services, the site is within 400 metres of Eaton Village with a range of shops and services including a supermarket. A GP surgery is also located around a kilometre away to the south west in Cringleford. Figure 11 illustrates the distance to shops and facilities.

5.8 There will also be on site facilities within the first phase including lounge areas, laundry and amenity open space.

### ACCESS & CONNECTIVITY

5.9 Figure 11 also shows transport links including bus access and pedestrian routes as well as road access. The site is well located for access to the local and wider area by way of a range of transport modes.

5.10 The proposed development site has a long frontage and reasonable forward visibility along this section of Bluebell Road and will meet the required technical standards for access. The masterplan has illustrated 2 points of access onto Bluebell Road for the first phase and a further

access point for the subsequent phase(s). The transport assessment concludes that an acceptable design solution can be identified for the new road junctions.

5.11 With regard to traffic impact, whilst development should result in an increase in the volume of traffic, it will still be within acceptable limits with regard to the surrounding road network. The layout does not propose any new through vehicular routes, therefore there will be no impact on the wider highway network in terms of 'rat running'.

### UTILITY SERVICES

5.12 Subject to further investigation, there are likely to be few constraints with regard to utility easements. The only services that cross the site are provided to serve the existing use and can be removed/rerouted.

5.13 In terms of access to utilities, gas, electricity and telephone connections are readily available.

### LANDSCAPE & OPEN SPACE

5.14 The landscape and visual assessment in Section 4 set out the main issues in terms of landscape character which found there were no significant constraints.

5.15 With regard to open space, there will be some complementary open space within the development site including a 'village green'. Most of the open space will however be located in the wider 17.5 hectare masterplan area edged in blue in figure 3. This is illustrated and explained in more detail within Section 8.

### ECOLOGY

5.16 Ecology surveys indicate that no protected species will be adversely affected. The best habitat will be retained and managed to enhance its ecological value including the provision of suitable habitat for wildlife including new planting. Furthermore a wildlife corridor will be left around the perimeter as well as across the site which will be planted with a range of retained and new native species, to allow the site to remain connected to the wider habitats (see Green Infrastructure Plan)

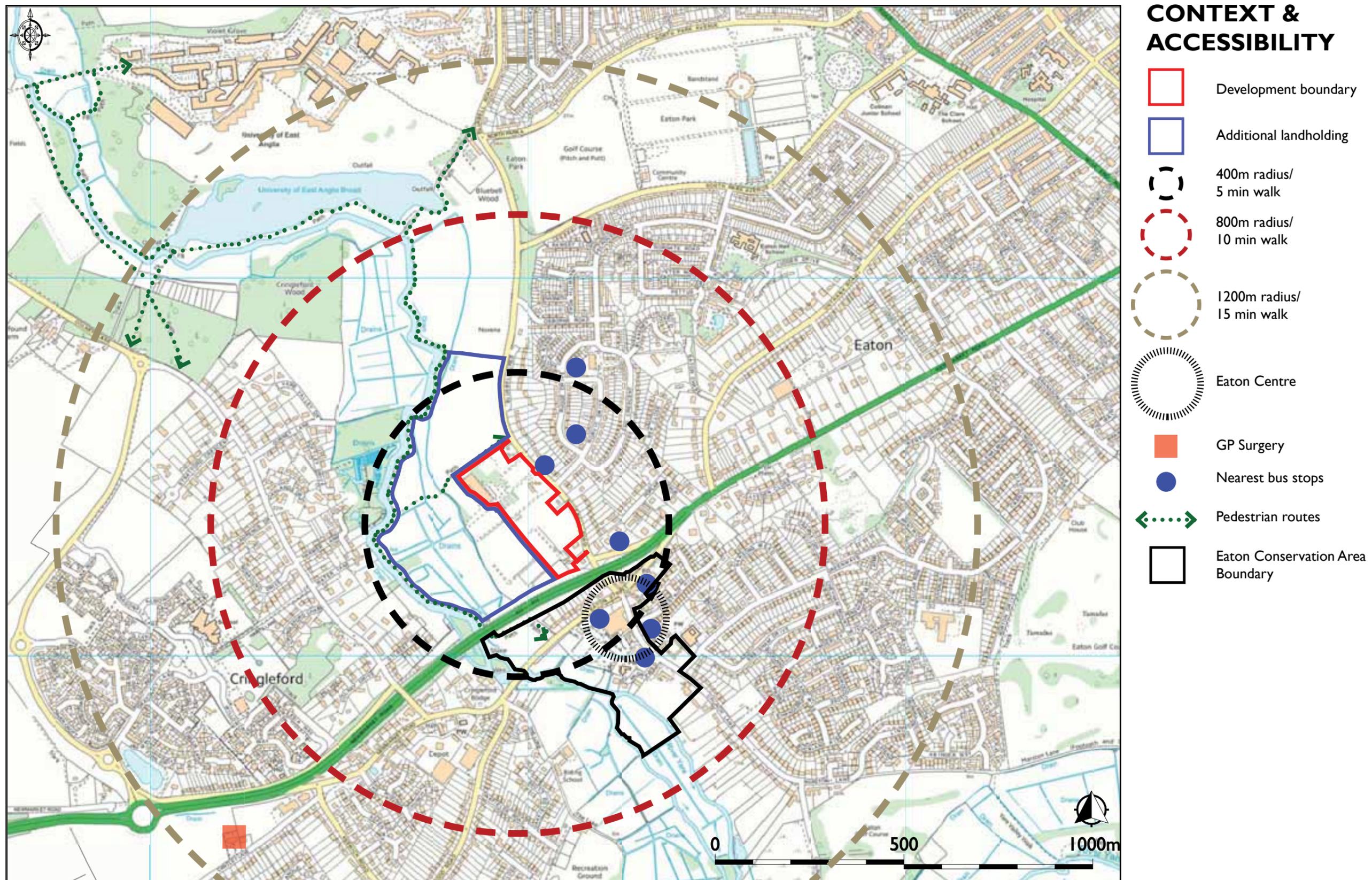
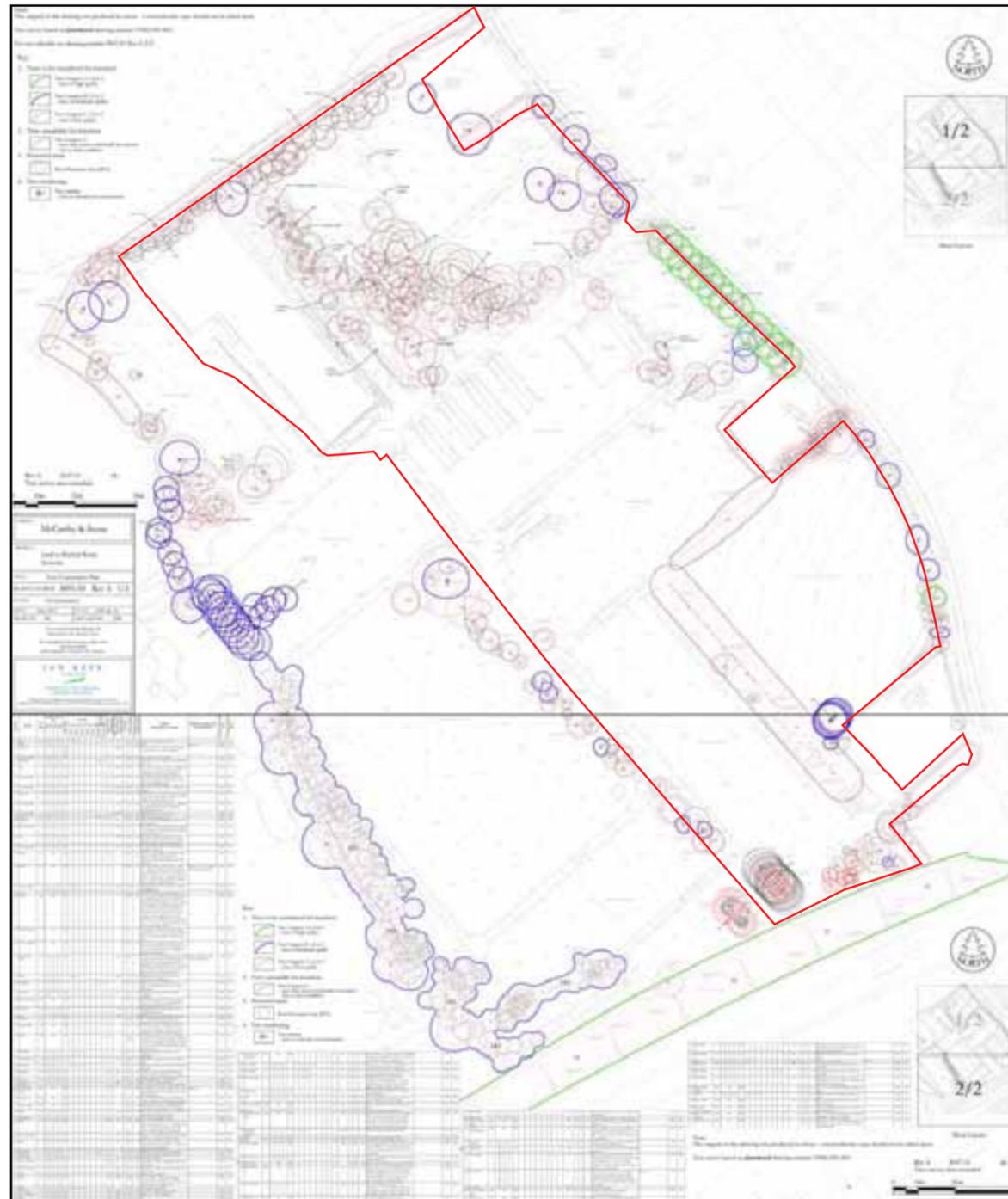


Figure 11: Wider Context & Accessibility, Scale-1:10,000 at A3 (OS Copyright)

## COMPOSITE TREE SURVEY PLAN



 Development boundary  
(5.43 Ha/2.81 Acres)

Figure 12: Plan showing the tree survey for the area on and around the development site. The majority of the best trees (Category B) will be retained (OS Copyright, Not to Scale)

### TREES

- 5.17 Figure 12 illustrates a composite tree survey plan highlighting the quality of the trees on and around the development site. The majority of the best quality (Category B) trees will be retained.

### FLOOD RISK AND WATER

- 5.18 A flood risk and drainage assessment has been prepared and will be submitted with the application. The site lies within Flood Risk Zone 1 (low risk category) and is considered suitable for the proposed development.
- 5.19 In terms of drainage there is the potential for attenuation ponds and swales to address surface water run off. The masterplan illustrates indicative locations. A pumping station may be required for foul drainage.

### NOISE

- 5.20 Since the site is close to the main A11 and also Bluebell Road, a noise survey has been carried out. Whilst the main roads provide a potential noise source, the change in levels and distance to the road, as well as existing and new planting minimise any impact on the amenity of existing and future residents. As a result further mitigation is not required.

### HERITAGE & ARCHAEOLOGY

- 5.21 The site is not within a conservation area although Eaton Village to the south contains a conservation area (see figure 11). There are also no scheduled monuments or listed buildings on or close to the site. The nearest listed buildings are south of the A11 in Eaton Village.
- 5.22 Archaeological trial trenching undertaken across the south of the site in August 2015 recorded no significant archaeological finds or features. Based on the available evidence the site is considered to have a low potential for archaeological evidence dating to all past periods. It is therefore concluded that further archaeological mitigation measures across the remainder of the site would not be appropriate in this instance.

### BUILT FORM & CHARACTER

- 5.23 There are a number of buildings on the site at the northern end of the developable area. These are single storey utilitarian structures with no architectural or historic merit.
- 5.24 In terms of the immediate surrounding townscape, the built form opposite the site to the east on Bluebell Road is comprised of largely two storey post war detached houses which are pleasant if unremarkable in terms of distinctiveness. There are however some older properties from the 1930s with a more distinctive character on the southern part of Bluebell Road opposite Phase 1.
- 5.25 The layout of much of the housing to the east is relatively formal with fairly consistent building lines and street patterns. The grain varies generally depending on the age of the built form. The figure ground plan seen in figure 13 illustrates a looser grain along the Bluebell Road frontage opposite the site with mainly well spaced detached housing. Further to the north behind Bluebell Road a more formal denser grain can be seen more closely spaced buildings and terraces. These buildings are mainly post war in origin.
- 5.26 In terms of the wider context, a number of distinctive buildings can be found in Eaton and Cringleford to the south dating from the 19th century and earlier. There are also a number of 1930s villas that are also architecturally distinctive.
- 5.27 West of the River Yare an area of housing set in generous plots contains a mix of 1-2 storey housing dating from the 1930s to the 1960s in the main, as well as some recent infill. Further west again a large recently constructed housing estate can be found edged by Roundhouse Way on its western edge.
- 5.28 With regard to design details, the post war housing close to the site is generally fairly simple with relatively plain flat fronted elevations and a simple gable roof form. The older 1930s houses however have some more distinctive details including bay windows, mock timber framing, hipped and gable roofs, brick and render.
- 5.29 Older properties; pre 20th and pre 19th century housing found nearby in Eaton and Cringleford, display vernacular detailing such as dormers, casement windows and timber framing. Some also have thatched roofs and some are listed.
- 5.30 Figures 13-15 illustrate figure ground, street pattern and building heights surrounding the site. Local housing examples are illustrated on pages 35-36. A mix of approaches could justifiably be applied to the site including a contemporary approach.
- 5.31 Overall built form is not likely to be a constraint subject to a suitable design response in terms of layout and appearance.

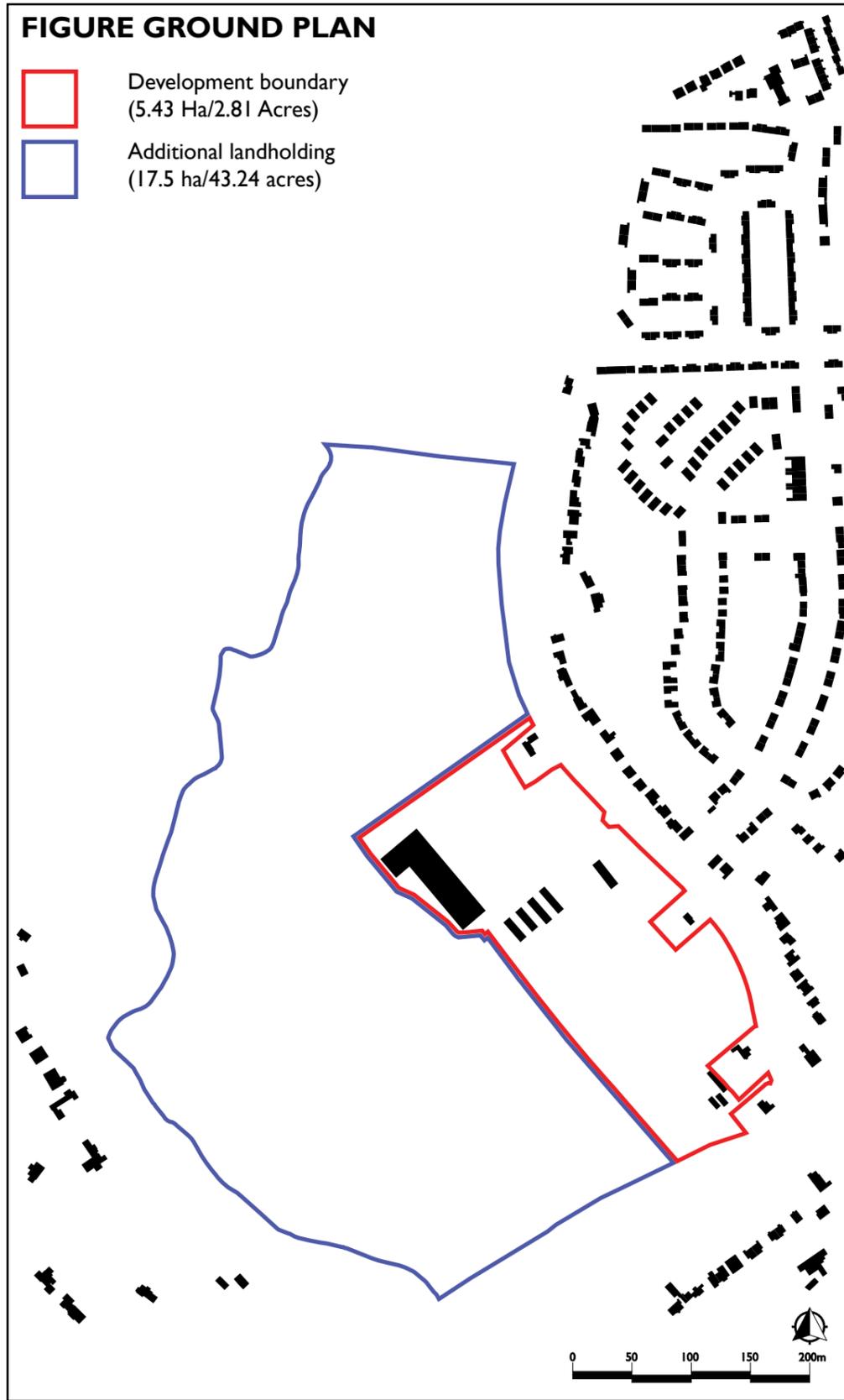


Figure 13: Figure ground plan. Scale-1:5000 at A3 (OS Copyright)

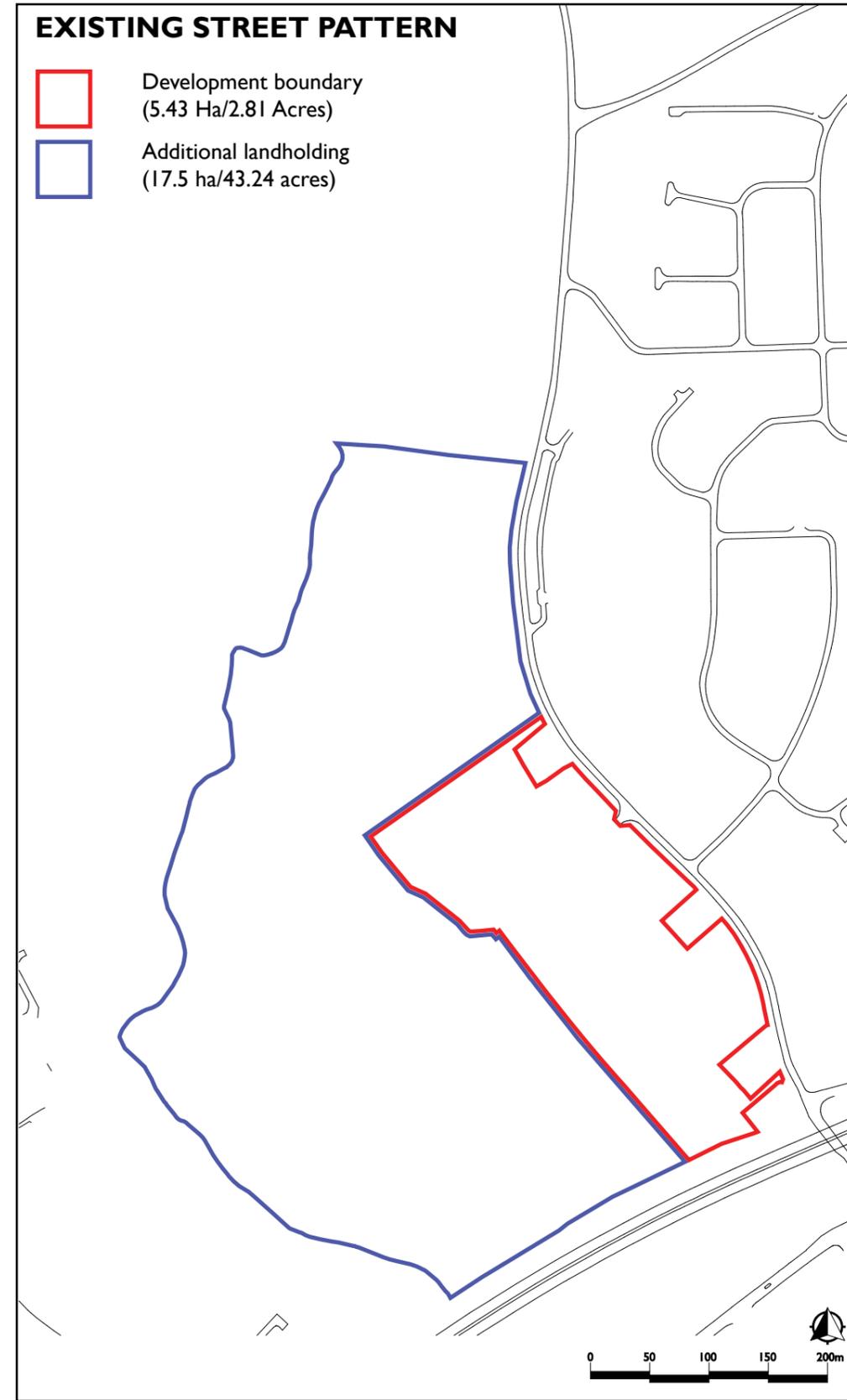


Figure 14: Existing street pattern. Scale-1:5000 at A3 (OS Copyright)

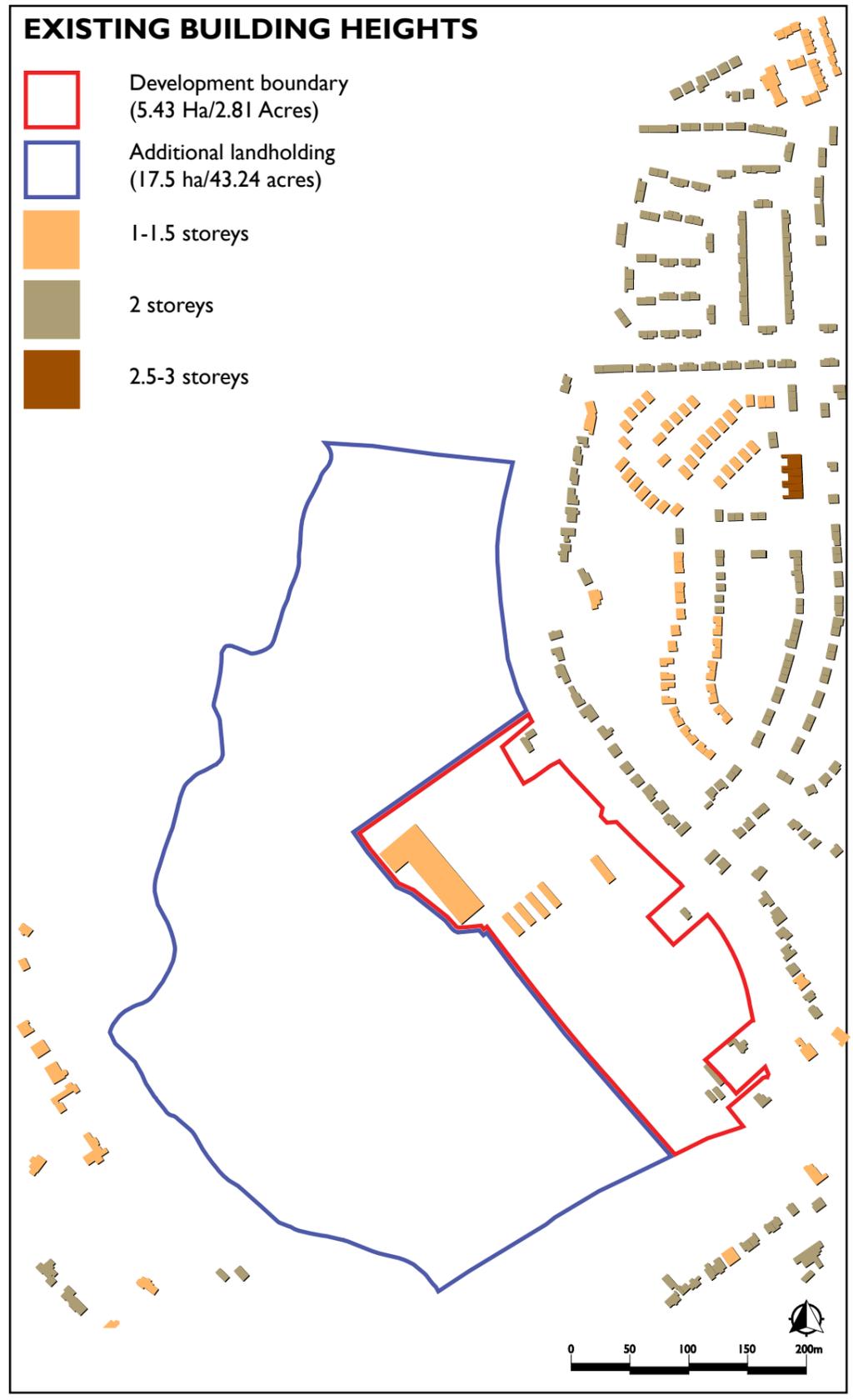


Figure 15: Existing building heights. Scale-1:5000 at A3 (OS Copyright)

## LOCAL CHARACTER REFERENCES



Photo 16: Bluebell Road: 1930s detached houses opposite the site to the east set back behind landscaping with a staggered building line.



Photo 17: Bluebell Road: simpler 1970s detached houses opposite the site to the east.



Photo 18: Eaton Village: 1930s 1 and 2 storey detached/semi-detached houses. Use of projecting gables, mock timber framing, bay windows, render and plain roof tiles.



Photo 19: Eaton Village: Grade II listed 19th century three storey pub. Features include drip moulds around the windows, quoins and slate roofing.



Photo 20: Eaton Village: Grade II listed 19th century two storey house built with traditional Norfolk flint.



Photo 21: Eaton village: traditional colour washed 1.5 storey Grade II listed thatched cottage.

## LOCAL CHARACTER REFERENCES



Photo 22: Cringleford: Edwardian detached villa. Features include red brick, bay windows and plain tiled hipped roof.



Photo 23: Cringleford: variety of detached 1 and 2 storey houses. Use of projecting gables, mock timber framing, plain tiles and render.



Photo 24: Cringleford: variety of 2 storey gable fronted detached houses. Use of bay windows, plain tiles and render.



Photo 25: Yare Valley Drive: area west of the River Yare with low density detached houses set in well landscaped gardens



Photo 26: Colney Drive: recent contemporary style development west of the River Yare. Use of red brick, coloured render and flat roofs.



Photo 27: 'Round House Park' new housing estate to the west of the River Yare. Example of a courtyard style development. Features include brick, render and clapboard. The area does lack soft landscaping however.

# Section 6 CONSULTATION

**INTRODUCTION**

- 6.1 This section summarises the consultation process that has taken place to inform the masterplan.
- 6.2 Meetings and correspondence have taken place with Norwich City Council on a number of occasions. The proposed development of the site has been positively received subject to suitable technical studies being carried out. These have now been undertaken and input into the masterplanning process.
- 6.3 Two public consultation events have also been carried out. The most recent took place on the 24th September 2015 in Eaton. There was a good turnout with 124 attending. The main issues raised were: concerns regarding safety at the access point to the affordable units off Bluebell Road, general traffic concerns, flooding, parking provision and general opposition to anything being built on the site. The latter of course while understandable, has to be considered in the context of the site being allocated for development. More work has been done on the issues raised to ensure that any concerns can be minimised.
- 6.4 Much of the feedback received has also been supportive, from those who recognise the need in the area as well as a number of people interested in moving there.
- 6.5 In terms of design and masterplanning, the design has changed significantly since the first event and early ideas. A number of amendments were made in response to the comments received as well as further input from the consultancy team. The amendments include the following:
  1. The first phase development site has been enlarged allowing the McCarthy & Stone development to be lower in height with more generous surrounding spaces.
  2. The development concept has been significantly amended to better reflect the housing layout and domestic scale to the east
  3. Agreement on the development process has widened the scope of the supporting studies with input into the masterplan brief from all parties.
  4. The McCarthy & Stone element has altered to take on a more contemporary appearance in response to Council input.
- 6.6 The next stage where comments can be considered will take place during the planning application process after it has been submitted for the first phase.

# Section 7

## DESIGN PRINCIPLES

## 7. DESIGN PRINCIPLES

### INTRODUCTION

- 7.1 This section summarises the opportunities and constraints presented by the site and resultant design principles.

### OPPORTUNITIES

- 7.2 There are a number of advantages that make the site ideal for over 55s residential development:
1. Good access to the local highway network and public transport;
  2. Within the settlement boundary and within walking distance of local shops and facilities;
  3. Established local residential character;
  4. Existing mature trees to enhance the development and sympathetically integrate the built form into the landscape.

### CONSTRAINTS

- 7.3 There are a few constraints however that are fully addressed in the masterplan:
1. Tree Preservation Orders on part of the development area;
  2. Tree retention whilst an opportunity, does constrain the form to a certain extent;
  3. Potential noise impact from the A11 and Bluebell Road (although not found to be significant);
  4. The proximity of individual adjacent houses will require sensitive handling;
  5. Some habitat/ecology constraints.

### ADDRESSING THE CONSTRAINTS

- 7.4 The masterplan has tried to balance the findings of the analysis in terms of character, policy, technical and consultation requirements. In summary the following general principles will apply:
- **Use** should be compatible with the local area which is primarily made up of housing in the immediate vicinity;
  - **Density** to balance optimising the potential of the site, relationship to local character and tree/ecology issues, as well as market conditions;
  - **Layout** to respond to the site features and adjoining properties and protect the amenity of adjoining residents as well as create a distinctive character;
  - Account to be taken of creating views to and through the site.
  - **Scale** should be generally 1-3 storeys with some lower storey development acceptable to take account of landform.
  - **Landscaping** to integrate the development sensitively into the landscape making use of the best existing trees as well as new planting.
  - Boundary treatment to include hedges/verges as well as shrub and tree planting;
  - **Appearance** to relate to the best examples found locally but there is the opportunity to create a distinctive self contained development in its own right.

### DESIGN PRINCIPLES

- 7.5 As stated in Section 1 earlier, the information gathering stage is also required to set out a series of design principles. These are set out below. There is inevitably a crossover with some principles applying to more than one issue.
- Movement framework
  - Landscape, views, green space and ecology framework
  - Drainage framework
  - Sustainability strategy framework
  - Place making framework
- 7.6 The framework plans are illustrated on the following pages and the principles for each plan are summarised below.
- #### Movement Framework
- 7.7 The Movement Framework (figure 16) illustrates the main access and movement principles for the site. These include the following:
1. One main access and one secondary access point for phase 1 from Bluebell Road.
  2. One main access point from Bluebell Road for the remaining phase(s).
  3. A new pedestrian link from Bluebell Road to the Yare Valley Walk.
  4. New pedestrian links within the new public open space.
  5. Permeable street pattern to allow for easy movement, particularly for pedestrians.

### **Landscape, Views, Green Space and Ecology Framework**

7.8 The Landscape, views, green space and ecology framework (figure 17) illustrates a number of principles including the following:

1. Protection of Bluebell Marsh County Wildlife Site.
2. New tree planting and landscaping to provide landscape and ecology benefits.
3. Creation and maintenance of attractive views to and through the site.

### **Drainage Framework**

7.9 The Drainage Framework (figure 18) illustrates the main principles for the drainage of the site. These include the following:

1. The use of SUDS where feasible for surface water drainage.
2. Re-use of existing drainage provision where practical.
3. Provision of modern new foul and storm water drainage to the majority of the development site.

### **Sustainability Strategy Framework**

7.10 The Sustainability Strategy Framework (figure 19) illustrates the main principles for the drainage of the site. These include the following:

1. Built form to consider solar gain
2. Walkable layout allowing easy access to local facilities
3. New planting to further green the site.
4. Use of sustainable drainage where possible.
5. Address reliance on non-renewable energy sources in line with local policy.

### **Place Making Framework**

7.11 The Place Making Framework (figure 20) illustrates the main place making principles for the site. These include the following:

1. A series of focal spaces throughout.
2. Varying heights dependent on topography with lower heights on the higher land closer to Bluebell Road.
3. Key focal buildings and corners to terminate views.
4. Soft edge to Bluebell Road with broken/articulated frontages behind.
5. Sensitive edge to existing housing where development is adjacent.

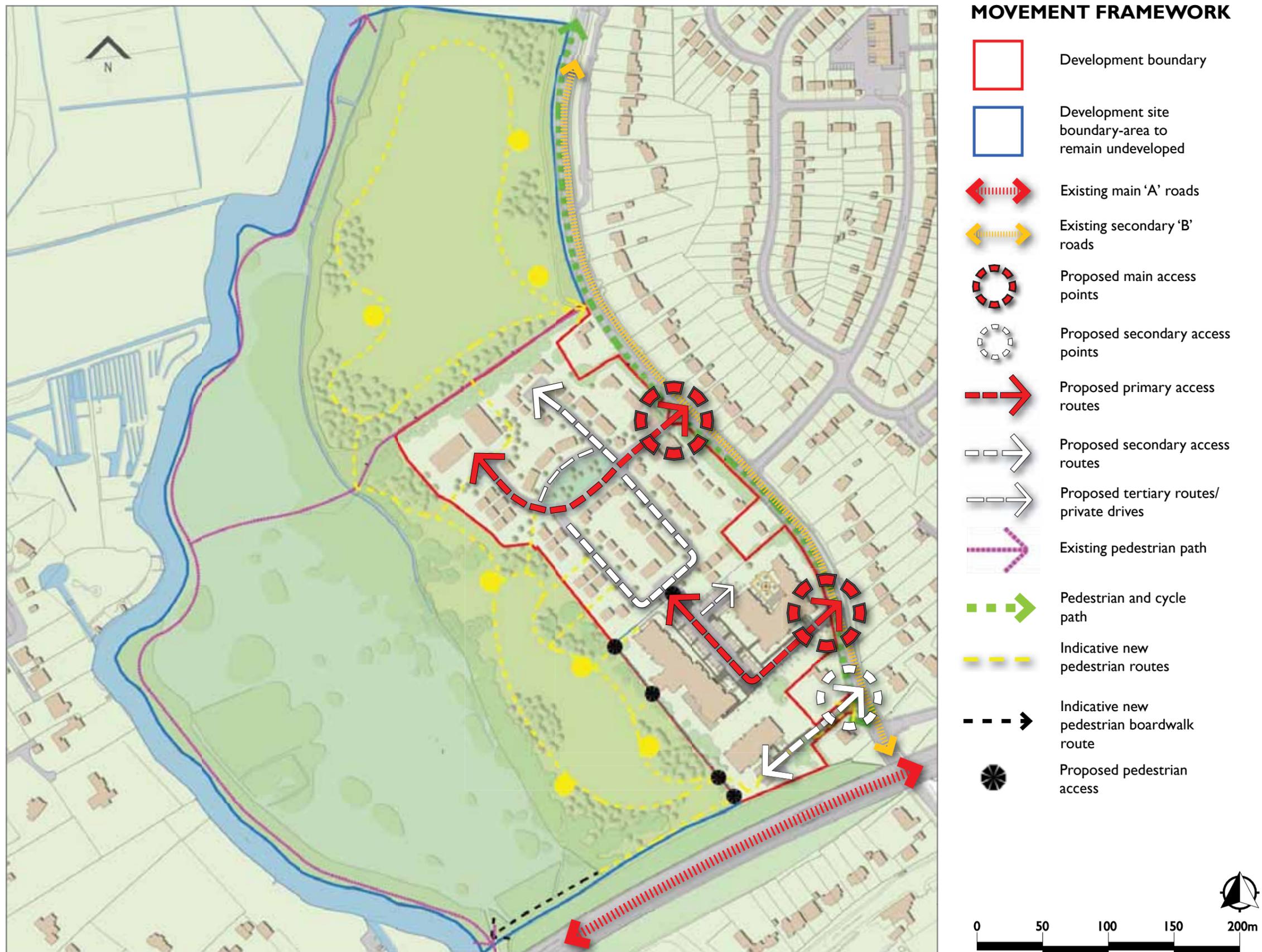


Figure 16: Movement Framework, Scale-1:3000 at A3 (OS Copyright)



**LANDSCAPE, VIEWS, GREENSPACE & ECOLOGY FRAMEWORK**

-  Development boundary
-  Development site boundary- area to remain undeveloped
-  Bluebell Marsh County Wildlife Site
-  Open views into the development from Bluebell Road
-  Partial views into the development from Bluebell Road
-  Views out from the development



Figure 17: Landscape, Views, Greenspace & Ecology Framework, Scale-1:3000 at A3 (OS Copyright)



**DRAINAGE FRAMEWORK\***

-  Development boundary
-  Development site boundary-area to remain undeveloped
-  Swale
-  Existing storm/foul drain
-  Proposed foul drain
-  Proposed storm drain

\*See separate drainage plans for full details



Figure 18: Drainage Framework, Scale-1:3000 at A3 (OS Copyright)

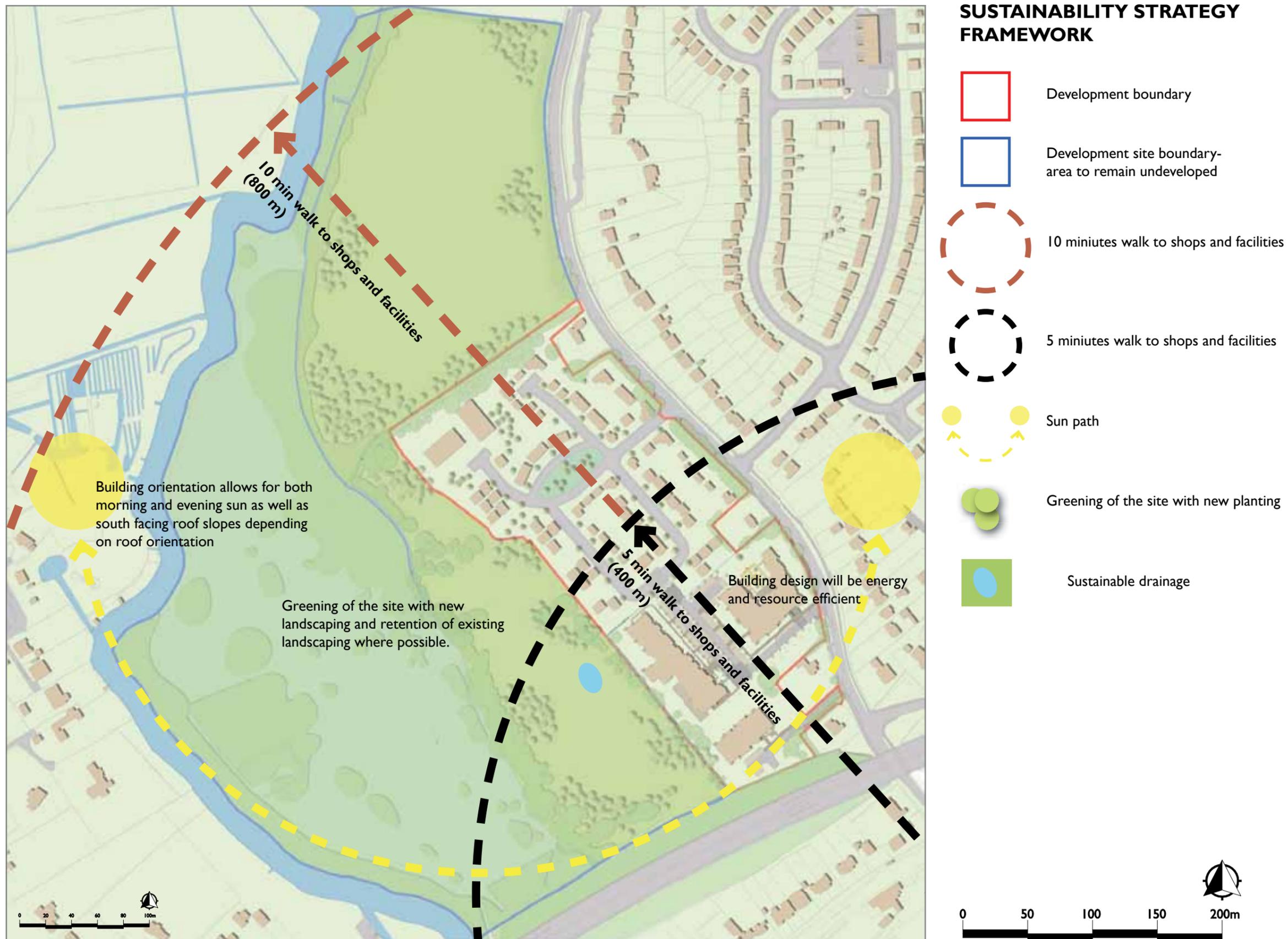
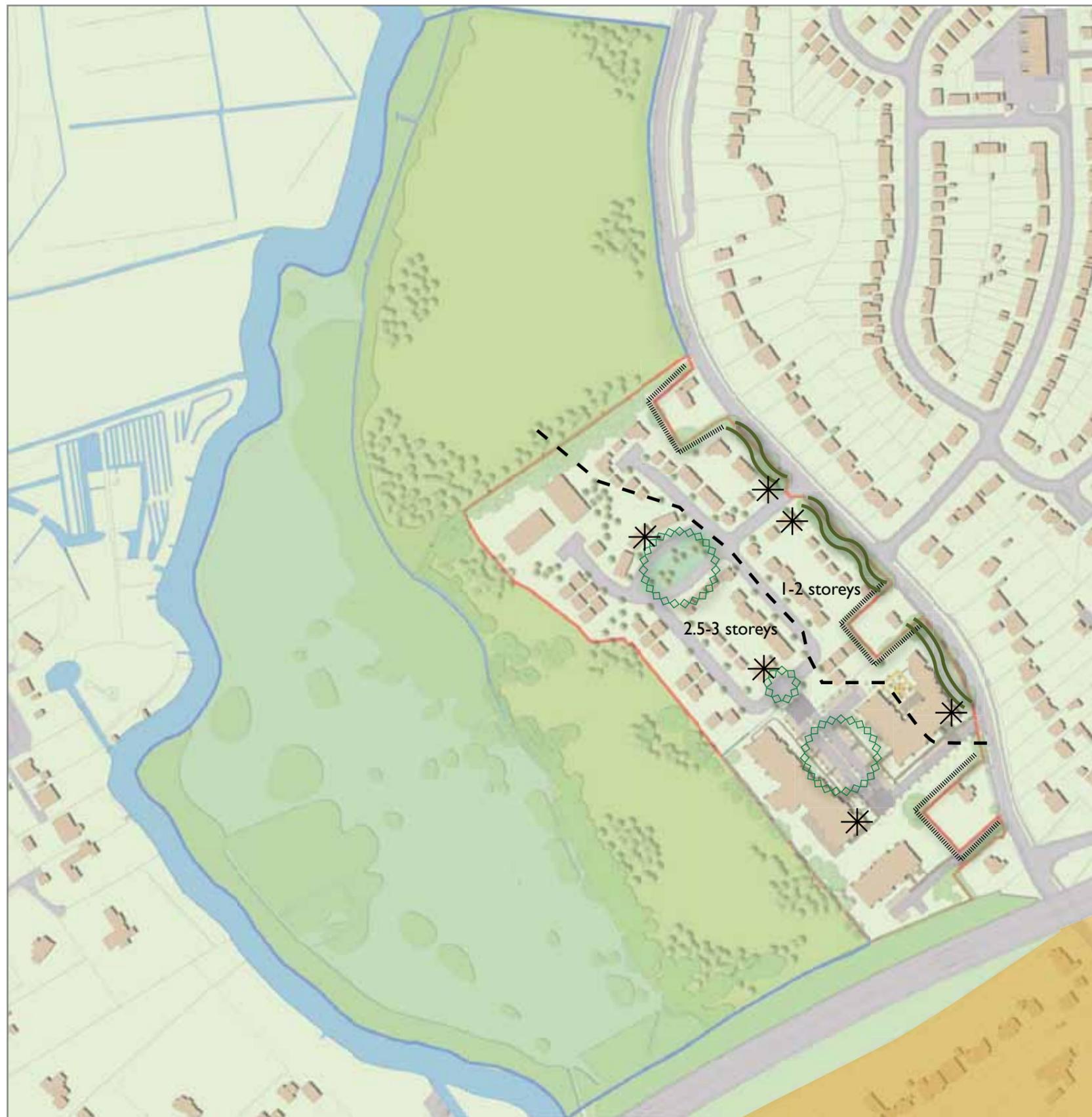


Figure 19: Sustainability Strategy Framework, Scale-1:3000 at A3 (OS Copyright)



**PLACE MAKING FRAMEWORK**

-  Development boundary
-  Development site boundary-area to remain undeveloped
-  Key corners and focal buildings terminating views
-  Focal spaces
-  Soft tree planted edge to the street with broken/articulated frontages behind
-  Sensitive edge to housing required
-  Conservation Area
-  1-2 storeys east of line, 2-3 storeys west of line

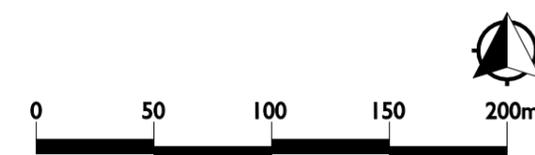


Figure 20: Place Making Framework, Scale-1:3000 at A3 (OS Copyright)

# Section 8

## THE MASTERPLAN

**INTRODUCTION**

- 8.1 This section explains the rationale behind the illustrative masterplan showing how the site could be developed. It also illustrates proposals for the landscaping, public access and habitat protection and creation on the undeveloped wider area of land.
- 8.2 The requirements of the brief are also addressed including the following elements:
- Number and type of dwellings
  - Improved pedestrian and cycle access
  - Improvements to the Yare Valley Walk
  - Identify areas of development
  - Layout of open space.
  - Maximum building heights
  - Protect environmental assets and tree belts

**THE OVERALL VISION**

- 8.3 The overall vision is one of a distinctive new addition to Bluebell Road providing much needed housing for the over 55s and where the development complements the area in terms of built form and landscaping. Much of the land ownership will still remain undeveloped (over 75%) leaving significant areas of open land both formal and informal in character. Even the developed area will contain generous landscaped areas.

**APPROPRIATE USES**

- 8.4 The main uses proposed are over 55s housing and open space. Housing is compatible with the largely residential context and will cater for a range of local housing needs including affordable housing.
- 8.5 The first phase is proposed to be assisted living and retirement living apartments. The latter will include affordable housing. Further phases will include general over 55s housing and possibly a care home.
- 8.6 The open space use will provide a valuable asset to the wider community by making land that is currently private, publicly accessible.

**AMOUNT**

- 8.7 The entire masterplan area measures just under 23 hectares (56.8 acres). The development area measures 5.43 ha (13.41 acres) and the area to remain undeveloped measures 17.5 ha (43.24 acres).
- 8.8 On the 5.43 ha developed area, McCarthy & Stone wish to develop Phase I consisting of assisted living and retirement living apartments on 1.94 hectares (4.79 acres). The remaining land to the north of this measures 3.49 ha (8.62 acres) and will be developed in one or more further phases.
- 8.9 In terms of the amount of development, 122 units are proposed on Phase I with 20 units of that being affordable housing. The resultant density is 62 units per hectare. On the futures phase(s), the amount of units is not fixed yet, however a range of unit types including retirement houses, apartments, bungalows and potentially a care home can potentially be accommodated. The resultant number of units depends on the final agreed mix, however up to 150 units should be capable of being accommodated subject to landscape and design considerations.
- 8.10 Although the suggested density is well in excess of the R42 policy which suggests that 120 units is appropriate, the masterplanning exercise has demonstrated that this figure is too low and does not optimise the development of the site. The suggested figure of up to 122 units on the first phase and up to 150 units subsequently, ensures the minimum 40 dwellings per hectare required by Policy DM12 is achieved. It also allows for an efficient use of the site balanced with site constraints and landscape considerations. The masterplanning process has demonstrated that at these densities there are still generous landscaped areas within the development site, as well as the wider 17.5 ha masterplan area which is to remain undeveloped.
- 8.11 Development could potentially also exceed 150 units on subsequent phases but only if the impact can be demonstrated in detail to be acceptable.

**ACCESS**

- 8.12 The site is well situated for access to public transport and local facilities. Bus stops are located outside the site and Eaton Village with its range of facilities is within 5 minutes walk. Norwich city centre is also only 4km away connected by the A11, a short car or bus ride away.
- 8.13 The main access points have been determined in part by the transport assessment to allow for the amount of dwellings proposed as well as suitable and convenient locations that provide the required level of visibility and also minimise the impact on existing trees. The junction arrangements will be expected to be designed to support the use of Bluebell Road as a cycle route.
- 8.14 The existing Yare Valley Walk will be improved. A range of measures are proposed including improvements to the surfacing and landscape management measures.
- 8.15 There will also be additional pedestrian and cycle routes introduced on the wider land that is currently private. This will include an additional link to the Yare Valley Walk. The Movement Framework (figure 16) and the Masterplan in figure 18 identifies these routes.
- 8.16 In terms of the development site and car parking, the first phase car parking is grouped within landscaped squares. The later phase(s) whilst indicative, suggests a mix of grouped parking and in curtilage parking broken up by landscaping. The street design allows for incidental on street parking, which, combined with building and landscape enclosure and short streets which are not through roads, will ensure low vehicle speeds.
- 8.17 The topography whilst sloping will be addressed to ensure level access to the dwellings.

**LAYOUT**

- 8.18 The masterplan (figure 22) identifies areas of development generally within the wider site bounded by the red line and in detail within the development area itself. The masterplan provides a layout of the first phase which will be the subject of a planning application. It also suggests an indicative layout for the subsequent phase(s) to the north.
- 8.19 The layout has evolved from taking account of site characteristics and local character. As well as addressing

the issue of impact on the landscape, the aim is to provide a well connected and easily understood layout in line with good practice and local policy.

- 8.20 In general the layout is fairly formal and linear in line with site features and local examples. Streets generally link up ensuring a permeable walkable layout with easy pedestrian links through the site. Buildings are set back from the Bluebell Road frontage to allow space in front as a buffer and accommodate the frontage trees. The staggered building line on Phase I also relates to the staggered building line opposite.
- 8.21 The set back frontage and other areas of landscaping and open space will soften the layout in the landscape and keep important boundary trees. A 'village green' is also proposed as a focal point for the site.
- 8.22 The amenity of the existing houses (9, 11, 33 and 35 Bluebell Road) has also been considered and a suitable separation distance has been maintained with opportunities for screening.
- 8.23 Street elevations and sections demonstrate the spatial arrangement of the layout in three dimensions and relate the width of the streets to the movement framework in figure 16 which illustrates the hierarchy of streets and spaces. The wider streets will have the greatest prominence and greater building heights.

### SCALE

- 8.24 In terms of scale, the buildings will be arranged on the site to minimise any impact. On the frontage adjacent to Bluebell Road the buildings are proposed to be two storeys in line with the mainly two storey frontage on the opposite side of Bluebell Road to the east. The height then increases to up to three storeys using the fall in ground levels (see figure 21). Due to the nature of the use, the assisted living apartments are proposed to be three storeys which again use the fall in levels to minimise any impact and allow a lower ground floor to be incorporated.
- 8.25 On the second phase the possible care home use is also potentially three storeys. The three storey buildings take account of the LVIA by locating them on the western edge of the site which is up to 13 metres lower than the eastern edge adjacent to Bluebell Road. Combined with the new

and existing landscaping, three storeys on the western edge will not be intrusive and can be sensitively integrated into the landscape. The frontage to Bluebell Road on the second phase will be two storeys to relate to the houses opposite to the east. Within the site the proposed buildings will be a mix of single storey bungalows and two storey houses and apartments.

### DESIGNING OUT CRIME

- 8.26 As the NPPG (Design) states in paragraph 010 designing out crime and designing in community safety should be central to the planning and delivery of new development. The Guide also states however that crime should not be seen as a stand alone issue, to be addressed separately from other design considerations. In other words well designed places should inherently reduce the risk of crime.
- 8.27 In terms of safety and security, the illustrative proposals are based on the following principles as features of a well designed place rather than 'add on's':
- Generally a perimeter block form with public fronts and private backs;
  - Active frontages throughout with buildings facing on to public areas;
  - Areas of blank wall will also be minimised where it is suggested that corners are turned by way of special corner turning units which are double fronted with windows to both returns.
  - Parking is to be visible faced by the building fronts and/or within secure curtilages.
  - Use of defensible planting and defensible space in front of properties;
  - Where there are pedestrian only links in the development area these will be well overlooked.

### LANDSCAPING AND GREEN SPACE

- 8.28 The retention of existing trees as well as new planting will integrate the development sensitively into the landscape. More detail on this is set out within the accompanying Landscape Assessment.

8.29 The proposals for the site will include landscape enhancements. This will include planting within the confines of the proposed gardens of residential properties, the wider street scene and the public open space. Building on the landscape and visual impact assessment the landscape strategy will be to create a continuation of the local landscape character, as illustrated on the masterplan. This will include:

- Retaining and incorporating the best individual trees and groups of trees
- Strengthening of field boundaries using native hedgerow planting.
- Creation of wildflower areas and habitat corridors to promote local biodiversity.
- Establishment of small clusters of native trees within the overall scheme to reflect local character and complement the built form.
- Establishment of specimen trees in residential gardens, together with formal shrub planting and lawns.
- Well overlooked amenity space including a 'village green' providing convenient access to all residents.
- Tree and shrub planting will be carried out with a suitable species in liaison with the Council.
- Low walls, railings and hedges will define front boundaries. Hedges are particularly appropriate to the site and existing hedges will be incorporated where possible.
- Use of verges and hedge planting alongside the carriageway also echoes the existing character.
- Surface materials will include the use of asphalt, block paving and concrete paving slabs.

### DESIGN & APPEARANCE

- 8.30 In terms of architectural appearance the intention is to take some reference from the best examples of housing found locally. Design precedents found locally that could inform the design are set out earlier on pages 35-36.



Figure 21: Typical elevation, Phase I using traditional elements such as gables, bays and traditional materials but designed with a contemporary appearance. The heights also increase from two to three storeys using the fall in the site levels, Scale-1:600 at A3

8.31 Local traditional architecture can be used as a reference with a traditional or modern interpretation acceptable as long as it is of sufficient quality with a close attention to detail. Quality design is the key, although the detailed appearance will be worked up in consultation with the planning authority.

8.32 Features found locally that references could be made to, include:

- Prevalent use of detached and semi-detached units in a landscaped setting;
- Some use of bay windows and gables;
- Use of brick and render facing materials;
- Hipped and gable roofs with tile and slate covering.
- Mock timber framing (wood cladding could be used as a contemporary interpretation).

8.33 The first phase has been drawn up in detail and takes a contemporary design approach but with traditional references including traditional materials, pitched roofs, bay windows and gable features (see figure 21 above). Balconies also add interest as well as provide amenity space for the occupants.

## SUSTAINABILITY

8.34 Policy 3 of the Joint Core Strategy aims to minimise reliance on non-renewable high-carbon energy sources and maximise the use of decentralised and renewable or low-carbon energy sources and sustainable construction technologies. This will include sources of 'decentralised and renewable or low-carbon energy' providing at least 10% of the scheme's expected energy requirements. This will be addressed in more detail at the detailed planning stage. For the first phase of development a combination of roof mounted solar panels and air source heat pumps are proposed.

8.35 The aim is still to provide energy efficient and sustainable new housing. In terms of the masterplan process positive sustainability benefits will be provided including:

- Accessible location close to existing amenities;
- Efficient use of land that balances density with site features and character;
- A landscaping scheme which will retain existing trees and complement them with native planting to support biodiversity.

8.36 In terms of sustainable building design a number of measures can also be employed. Energy efficient homes can be provided through a number of initiatives and techniques which typically will include:

- Non-renewable energy sources potentially including roof mounted solar panels and air source heat pumps.
- Natural ventilation – all homes to maximise natural daylight through appropriate window openings, providing natural ventilation and reducing energy consumption.
- Insulation – good insulation and airtight seals in all buildings, improving their ability to retain heat energy and lowering the amount of fuel required for heating.
- Lighting – energy-efficient lighting in all homes with daylight maximised to reduce the need for artificial lighting.
- White goods – where provided, the aim will be to provide white goods with energy efficiency ratings of A or B.
- Water saving – water-saving features in all homes, including low-flow taps and showers, and dual-flush cisterns.

## CONCLUSION

8.37 This document, together with the illustrative masterplan, offers a sensitive and considered approach to the development of site R42.

8.38 It demonstrates how this site could make a valuable contribution towards meeting the need for over 55s housing in the area within a compact form and high quality landscaped setting.

8.39 The development will also secure a generous amount of public open space and provide access, amenity and ecology benefits. The overall result will be a distinctive place that is sensitively designed and relates well to local character. It will also provide a sustainable redevelopment of the site into a sympathetic and high quality housing development.



Figure 22: The Illustrative Masterplan, Scale-1:3000 at A3 (OS Copyright)

Section 9  
MASTERPLAN DELIVERY  
STRATEGY

**INTRODUCTION**

- 9.1 This section summarises the masterplan delivery strategy including the following:
- Strategy for public consultation during the preparation of future planning applications.
  - Phasing of development/infrastructure required to achieve the masterplan objectives and Local Plan requirements;
  - The Management Plan for the open space;
  - Legal agreements covering arrangements for the phased provision, future management and maintenance of the open space in perpetuity.
- 9.2 The full management plan and legal agreements are published separately.

**PUBLIC CONSULTATION**

- 9.3 Public and stakeholder consultation has been undertaken to date on both this masterplan document and the detailed plans for Phase I.
- 9.4 The future development phase(s), will be subject to further public consultation which will include a further exhibition as well as ongoing discussions with the Council and other interested parties including those listed in the masterplan brief.

**PHASING AND DELIVERY**

- 9.5 The delivery framework plan (figure 22) summarises the delivery and phasing process for both the development and landscaping measures. This can be summarised as follows:

**Phase I**

- Proposals for 42 Retirement Living, 60 Assisted Living and 20 affordable units, all for the over 55s.
- The first phase will also deliver a new pedestrian link from Bluebell Road to the Yare Valley Walk as well as opening up Strawberry Fields to the north to public access.

**Phase 2**

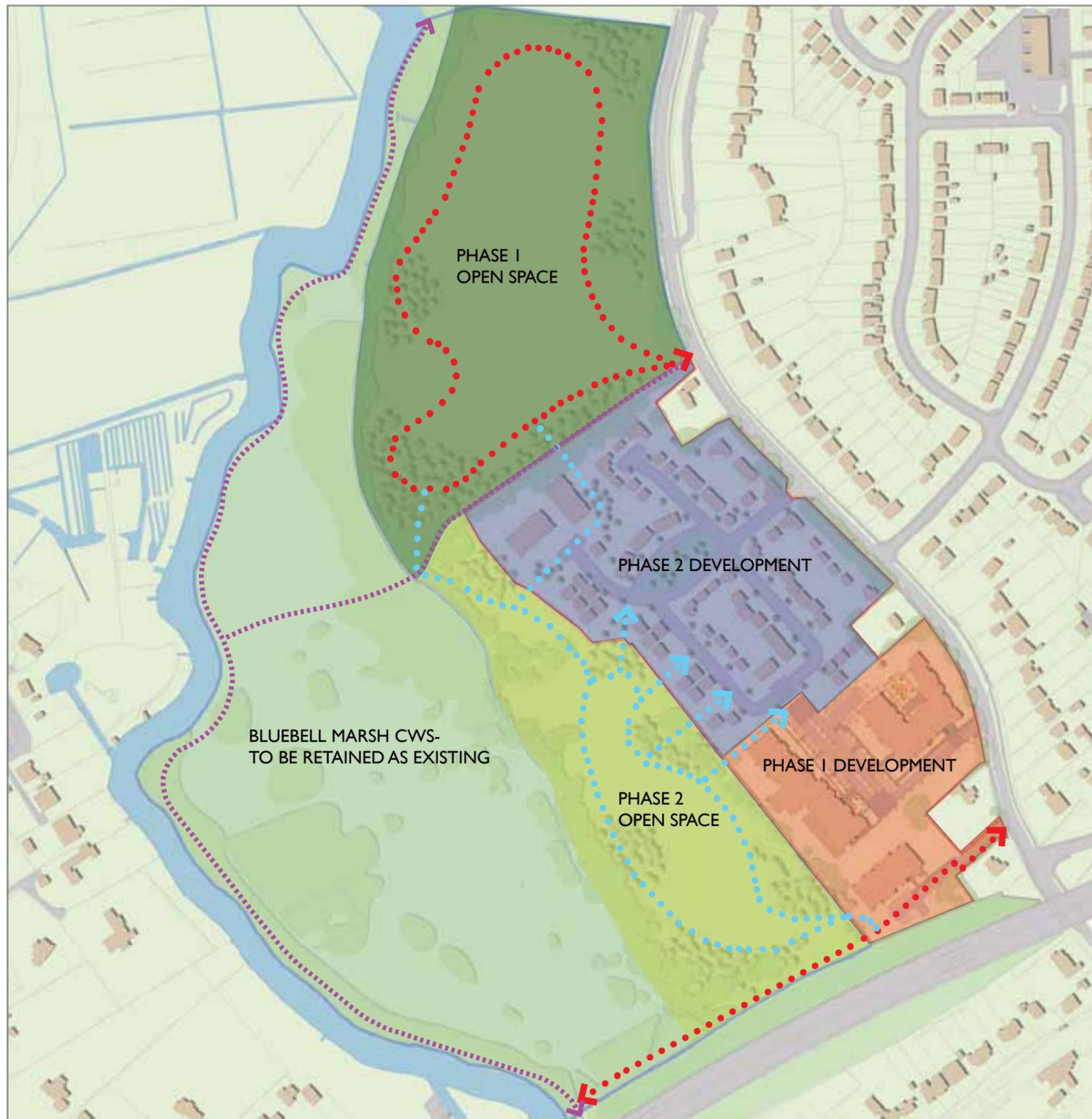
- Phase 2 could be delivered in more than one phase but at the moment it is considered that it will include development on the northern part of the developable area, part of which currently houses Bartram Mowers premises and the day nursery. This will consist of some or all of the following: retirement houses, apartments, bungalows and potentially a care home up to 150 units or more if an acceptable impact can be demonstrated in detail.
- This phase will also deliver a further area of public open space to the west of the developed area as well as new links to and through the space.

**OPEN SPACE MANAGEMENT PLAN**

- 9.6 The Management Plan sets out the necessary prescriptions for the management of the new planting in the residential and public areas of the site, within the Development Area. Management of open space within the site that is outside the Development Area is detailed in the Management Plan drawn up by Natural England (in Appendix C of the document).
- 9.7 The plan is also accompanied by a detailed planting schedule.

**LEGAL AGREEMENTS**

- 9.8 A legal agreement has been drawn up for the delivery of the open space and its future management and maintenance. This will ensure that the open space will be provided at agreed phased intervals and also how its long term future will be safeguarded and managed.



**DELIVERY FRAMEWORK**

-  Development boundary
-  Development site boundary-area to remain undeveloped
-  Phase 1 development site (1.94 ha/4.79 acres)
-  Phase 2 development site (3.48 ha/8.6 acres)
-  Phase 1 open space
-  Phase 2 open space
-  Phase 1 pedestrian routes
-  Phase 2 pedestrian routes
-  Existing pedestrian path

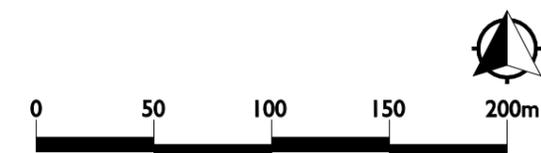


Figure 23: Deliver Framework, Scale-1:3000 at A3 (OS Copyright)

Appendix A  
BARTRAM MOWERS  
MASTERPLAN BRIEF

## Draft Bartram Mowers Masterplan Brief

### Introduction

The purpose of this draft brief is to set out the requirements for a Masterplan for site R42, Land west of Bluebell Road, Bartram Mowers Limited, Norwich.

The site is allocated for development in the Site Allocations and Site Specific Policies Local Plan (the Site Allocations Plan), adopted in December 2014. Policy R42 is in appendix 1 of this document.

The completed master plan document will provide a framework for developers to follow and assist the Local Planning Authority in the consideration and determination of future planning applications on the allocation site, through the provision of a clear and usable guidance document.

It must be prepared in advance of any planning application, to inform its content. Formal public consultation on the Masterplan will be undertaken as part of the pre-application stage of the planning application process.

The 5.5 hectare site west of Bluebell Road is allocated for housing for the over 55s including retirement housing and may include assisted living and/or extra care housing.

Bartram Mowers' land ownership extends to 23 hectares between Bluebell Road and the River Yare.

The Masterplan will cover both the development site itself and the adjacent 17.5 hectares of Bartram Mowers land. The adjacent 17.5 hectares of land is protected from development through its allocation as part of the Yare Valley Character Area and as open space in the Norwich Local Plan under policies DM6 and DM8. This area will provide both open space accessible to the public and improved habitats, parts of which will not be publically accessible.

This is a sensitive site. Adopted policy 1 of the Joint Core Strategy for Broadland, Norwich and South Norfolk (the JCS) identifies the Yare Valley, which forms a highly attractive landscape setting and area of open space on the southern fringe of the built up area of Norwich, as a "Sub regional green infrastructure corridor". The Yare Valley Walk provides public access to the river and valley. The valley provides important wildlife habitats, including fen areas close to the river.

As a consequence, policy R42 requires the development to be designed to ensure that the setting and character of the site are respected and to minimise impact on the landscape and important views. The policy therefore requires proposals to accord with an agreed Masterplan produced by the developer following this brief, written by Norwich City Council.

The text accompanying policy R42 sets an indicative figure of 120 dwellings to be developed at low densities to ensure views can be retained. This number of dwellings is only indicative, and was used to as a guide for estimating how many

new homes the site would be likely to provide for plan making purposes. The actual number of dwellings that can potentially be provided in practice will result from the masterplanning exercise and subsequent planning application(s).

The Masterplan must assess how the development can best be designed to minimise impact on the landscape and preserve the character of the area, setting the precise areas within which development will be located, maximum building heights, an upper and lower range of dwelling numbers, a range of suitable dwelling types and the layout of the open space.

The layout of the open space will be a key issue as it is essential to ensure that the new open space protects and improves the valley landscape and habitats, whilst providing improved access for pedestrians and cyclists.

The Masterplan must also ensure that development will complement the site's role as a gateway to both the city, given its close proximity to the A11Newmarket Road, and into Eaton village, along Bluebell Road.

### Local Plan policies

The masterplan approach will help to ensure the development meets Norwich Local Plan requirements in policy R42, and other policies. The most relevant overarching policies and their implications for the site are set out below:

Table 1 Key local plan requirements

Policies	Site implications
JCS 1, JCS3, DM5 and DM6	The development must address climate change issues, including meeting policy requirements on energy and water efficiency and incorporating sustainable drainage. The layout, scale and density of development is required to reflect the characteristics of the area and the development must conserve and enhance biodiversity and create green networks with publically accessible open spaces.
JCS 2 and DM3	The development must respect local distinctiveness, the landscape setting of Norwich, the sites "gateway" location and protect key views.
JCS4	33% of dwellings will be affordable housing, approximately 85% social rented and 15% intermediate tenures will be required
DM33	CIL payments will be required for strategic infrastructure. Site related infrastructure, such as any improvements required to the existing Bluebell Road junction and/or an additional junction to the east and the provision of new open space and pedestrian/cycle routes (to be identified in the masterplan), will be secured through conditions or a planning obligation.

Further policy requirements are set out in table 2.

### Objectives of the Masterplan

In line with Policy R42, the general type, scale, density, layout and form of housing development will be determined by the Masterplan which will assess how the development can best be designed to minimise impact on the landscape and preserve the character of the area. The aim is to ensure that development:

- minimises impact on the landscape of the Yare Valley and important views;
- improves the strategic Yare Valley green infrastructure corridor;
- protects and enhances environmental assets within and adjacent to the site.

The Masterplan must identify the precise areas within which development will be located and the general layout of the open space. Improvements to the valley will include improving pedestrian and cycle access to and along the Yare Valley walk and the creation of new habitats, potentially including providing a habitat buffer for the existing fen habitat east of the river.

A Management Plan will be produced for the new open space by the developer. A legal agreement will cover arrangements for the future management and maintenance of the open space in perpetuity.

### Masterplan Output

The Masterplan will be developed in three iterative stages – firstly Information gathering, secondly Masterplan production and thirdly a Delivery strategy.

#### Stage 1 – Information gathering

##### 1a Evidence

The first element of stage 1 will be to produce an evidence base consisting of:

- a full landscape assessment;
- a visual impact assessment;
- topographical and levels surveys;
- an ecological survey;
- a tree survey for the development site;
- a transport assessment.

The assessments and surveys must be used to identify areas of high visibility and where there are important cross valley views which should be conserved as part of the landscape strategy for the site to ensure development has minimal landscape and visual impacts.

They should take account of the evidence presented by landscape professionals Sheils Flynn on this issue to the Examination in Public into the Site Allocations plan available at

<http://www.norwich.gov.uk/Planning/SARep/5713-1%20BARTRAM%20MOWERS%20LTD%20Mark%20Bartram%20of%20.pdf>

# APPENDIX A. BARTRAM MOWERS MASTERPLAN BRIEF

The above landscape evidence should be tested in more detail by the masterplanning exercise particularly in relation to key views, connections and buffer zones.

## 1b Frameworks

The evidence base will be used to produce a set of “frameworks”, topic based text and plans setting out design principles, for:

Table 2: Frameworks

Framework	Description
Movement	Covers access to and through the site to ensure there is good access to the nearby Eaton district centre, to bus stops, improved cycle and pedestrian access within the Yare Valley and safe vehicular access. This will include access across Strawberry Fields in the north of the site and a new path next to the road embankment in the south of the site from Bluebell Road to the Yare Valley Walk. To comply with JCS 2, the movement design principles must prioritise quality of place.
Landscape, views, green space and ecology	A plan showing key views to be retained along with the overall network of green infrastructure including new publically accessible open space in Strawberry Fields and to the south west of the development area, without creating public access to the rich habitats of the fen area. There should be consideration of the potential to make environmental improvements, which could include habitat creation through buffering of the fen area. The framework should take account of Local Plan policies to incorporate public art (JCS2), to provide new street trees and to retain and integrate existing tree belts, trees, hedges and shrubs at development sites (DM7) and make use of previous landscape work from the examination in public for site R42 (see link above).
Drainage	The plan will set out the overall approach to drainage, including area wide sustainable drainage to meet the requirements of JCS1 and DM5.
Sustainability strategy	Identifying on site opportunities for low carbon initiatives to comply with Local Plan policies.
Place making	A synthesis of the above to set out the <b>overarching design principles</b> . The Council encourages contemporary, innovative design, which takes advantage of site constraints, minimises impacts on the landscape and creates a distinctive sense of place.

## 1c Development options

This evidence will be used to provide mapped development options, culminating in the **recommendation of one chosen option**.

**The content of stage 1 will require engagement and consultation with the council (informal planning officer level pre-application advice) before stage 2 is begun.**

## Stage 2 – Masterplan production

Stage 2 will be the production of an illustrative masterplan and a **detailed report** including design guidance on the chosen option for developing the site. The report should ensure that the evidence supporting and justifying the final proposed option is clearly set out.

The report should show how masterplan principles will be realised as part of future planning applications including how the proposal will meet Local Plan requirements.

## Stage 3 - Delivery Strategy

The Delivery & Implementation Strategy will form a key element in the final Masterplan document.

This will include the following:

Strategy for public consultation during the preparation of future planning applications. This should include consultation with nearby residential occupiers, the Yare Valley Society, UEA, Cringleford Parish Council, the Environment Agency, Anglia Water, Norfolk Wildlife Trust and the Norwich Fringe Project.

Phasing of development/infrastructure required to achieve the masterplan objectives and Local Plan requirements;

The Management Plan for the open space;

Legal agreements covering arrangements for the phased provision, future management and maintenance of the open space in perpetuity.

**The completed masterplan should be subject to consultation with the Council (informal planning officer level advice) before submission of any planning application.**

## Appendix 1 Sites Plan policy R42

### R42 Land west of Bluebell Road, Bartram Mowers Limited

#### 1. Accompanying text

##### Description

The 5.5 hectare site is proposed for housing for the over 55s including retirement housing and may include assisted living and/or extra care housing. This site is the area within the solid red line on the map below and shown on the Policies Map. The site is mainly brownfield, being currently occupied by Bartram Mowers' garden machinery, sales and repair business, along with a single storey building used as a nursery school, parking areas and hard standings for former greenhouses, as it was previously used for market gardening.

Bartram Mowers ownership extends to 23 hectares between Bluebell Road and the River Yare. The remainder of the Bartram Mowers owned land is shown for information as the area within the red dotted line on the site plan below, though only the site allocation itself is shown on the Policies Map.

Bluebell Road is to the north-east, with low density housing on the northern side, directly opposite the site. There are four dwellings south-west of Bluebell Road directly neighbouring the development site.

Adjoining land in the Yare Valley is undeveloped, consisting of grazed fields of undulating topography to the north and fen adjacent to the River Yare to the west.

There are a number of well-defined hedges, tree belts and groups of trees across the site, with a large tree belt with many mature trees adjacent to the A11 Newmarket Road dual carriageway to the south of the site.

A footpath runs west from Bluebell Road to the north of the site linking to the Yare Valley Walk which follows the river. There is currently no public access to the remainder of the Bartram Mowers owned land.

##### Explanatory Text

Site R42 has been allocated for housing for the over 55s. This may include assisted living and/or extra care housing. This form of housing meets a local and city wide need. Eaton has a significantly higher proportion of elderly residents than other parts of the city and there is an identified shortage of such housing in Norwich. In addition, such housing will have a reduced transport impact on the area at peak times.

The site is on the slopes of the Yare Valley which is identified under JCS policy 1 as a key green infrastructure corridor, providing both public access to the river and countryside along the Yare Valley Walk and important wildlife habitats. Open space neighbouring the site is protected from development as part of the Yare valley under policy DM6 and as open space under policy DM8.

Therefore it is essential that development is sensitively designed to minimise effects on important views to and within the Yare Valley. Consequently the type, scale, density and design of housing development will be determined by a Masterplan which will assess how the development can best be designed to minimise impact on the landscape and preserve the character of the area. The Masterplan must also ensure that development will complement the site's role as a gateway to the city given its close proximity to the A11 and will cover the layout of the open space.

Whilst the scale of development on the site will be determined by the Masterplan, for the purposes of calculating the Site Allocations Plan's contribution to the Joint Core Strategy housing requirement an assumption has been made that the site will deliver in the region of 120 dwellings. This figure is based on an assumption that the site will be developed mainly at low densities to ensure that impact on the landscape is minimised.

The remainder of the site within Bartram Mowers' ownership, excluding the County Wildlife Site in the fen area, is proposed to become publically accessible open space, with improved pedestrian and cycle access and improvements to the Yare Valley Walk. Development proposals for the allocated site will include the provision of a new footpath from Bluebell Road to the River Yare close to the A11 Newmarket Road embankment and tree belt.

Development must minimise impact on the fens to the west. This area forms an important habitat, consisting of fen vegetation, grazing marshes, drainage dykes, alder and willow. Bartram Mowers have recently entered into a ten year Management Agreement with Natural England for the whole of their site (17.5 hectares) not proposed for development. To protect wildlife, no additional public access should be created to the fen area apart from the new footpath close to the A11.

A Management Plan for the open space will be provided. Arrangements for the management and future maintenance of the public open space and the protected lines of view across the site in perpetuity will be the subject of a legal agreement with the Council.

Both the development Masterplan and the Management Plan will be produced by the developers in consultation with the Council. The brief for this work will be produced by the Council. The plans will be informed by a full landscape assessment, a visual impact assessment, topographical and levels surveys and an ecological survey.

The existing road access onto Bluebell Road should be used to serve the development, with an additional access to the east if necessary.

### Deliverability

The allocated site is being promoted by its owner and is suitable and available for development within the plan period.

## 2. Policy:

### POLICY R42 Land west of Bluebell Road, Bartram Mowers Limited – housing development (over 55s)

The site of 5.5 hectares is allocated for development of a housing scheme for the over 55s, which may include assisted-living and/or extra care housing.

The development will be designed to:

- minimise impact on the landscape of the Yare Valley and important views;
- improve the strategic Yare Valley green infrastructure corridor, providing 17.5 hectares of public open space on land adjoining the site shown on the site plan below with a red dotted line. The public open space will provide improved pedestrian/cycle access to and within the valley, including improvements to the Yare Valley Walk. A Management Plan will be produced for the open space by the developer. A legal agreement will cover arrangements for the future management and maintenance of the open space in perpetuity;
- protect and enhance environmental assets within and adjacent to the site, including retaining tree belts.

In order to ensure that the setting and character of the site are respected and to minimise impact on the landscape and important views, proposals will accord with an agreed Masterplan produced by the developer following a brief set by the Council, covering the development site and adjacent open space. The Masterplan will identify the precise areas within which development will be located, maximum building heights, the number and type of dwellings and the layout of the open space.

The Masterplan and the Management Plan for the open space will be informed by:

- a full landscape assessment;
- a visual impact assessment;
- topographical and levels surveys;
- an ecological survey.

